

CLIENT:

COLES & AYDT

SITE ADDRESS:

**LOT 201 (18) STAINES STREET
LATHLAIN WA 6100**

- SHEET 01 - COVER SHEET
- SHEET 02 - GENERAL SPECIFICATION
- SHEET 03 - EXISTING SITE
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STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANT'S DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE BUILDING CONTRACT.
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENETROMETER TEST (AS PER AS 1289 F.3.3)
- 2.3 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.0 CONCRETE

- 3.1 CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2 ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3 SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5 PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYETHYLENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

3.6 TERMITE PROTECTION:

PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3680.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

4.0 BRICKWORK

- 4.1 BRICK WORK SHALL COMPLY WITH :
AS 3700 MASONRY CODE
AS A 123 MASONRY CODE
MORTAR FOR MASONRY CONSTRUCTION
- 4.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3 ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS:
EXTERNAL FACE WORK: 230x110x76mm
EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE
WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS
WINDOW HEADS: SOLID FACE BRICK COURSE
INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE WITH BED JOINT AND PERPENDS FILLED
305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT
- 4.4 MORTAR: 1:1:6 CEMENT:LIME:SAND
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED

- 4.5 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/800mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.
- 4.6 KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEP HOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9 SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10 MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11 PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COURSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13 BUILD IN ALCORP/GI FLASHINGS AS FOLLOWS:
-WHEREVER SHOWN ON DRAWINGS.
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)
-OVER LINTELS TO EXPOSED OPENINGS:
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.
-OVER ROOF:
FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
-DOOR / WINDOW STILES:
FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:
VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.
-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAF.

4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

5.0 CARPENTRY WORK

- 5.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

6.0 METALWORK

- 6.1 ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2 WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3 CLOTHES HOIST: REFER TO ADDENDUM.

7.0 ROOFING

- 7.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2 GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.

- 7.3 DOWN PIPES SHALL MATCH EXISTING.
- 7.4 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6 FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7 SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

8.0 JOINERY

- 8.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2 EXTERNAL DOOR FRAMES SHALL BE 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

9.0 CEILINGS

- 9.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 9.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

10.0 PLASTERING

- 10.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2 PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:5, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7 PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

11.0 GLAZING

- 11.1 CLEAR GLASS GENERALLY: OBSOLETE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2 WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS.

12.0 FLOORING FINISHES

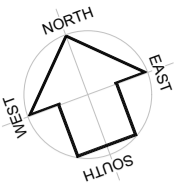
- 12.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHES SCHEDULE.

13.0 SIGNAGE

- 13.1 WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2 "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

14.0 PAVING

- 14.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2 SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS. CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4 PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY, TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6 PAVING PATTERN: REFER TO ADDENDUM.
- 14.7 BRICK PAVERS SHALL BE:
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE



LOT 1

506m²

SERVICE INFORMATION

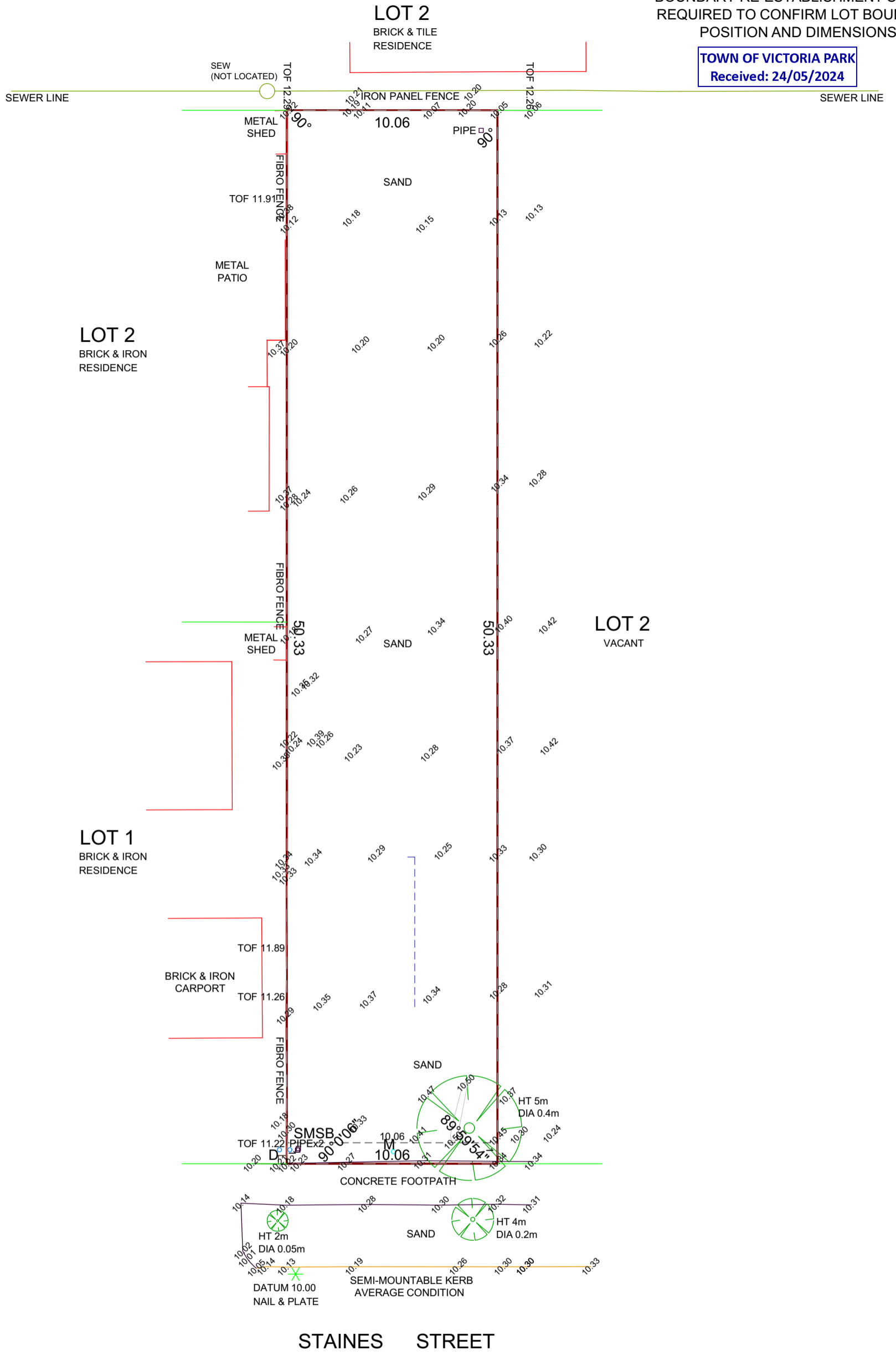
AREA	ESTABLISHED
SEWERAGE	YES DEPTH
WATER	YES PRELADR
ELECTRICAL	YES O/H
TELECOM	YES
GAS	TBC
DRAFTED	DF SURVEYOR/CF

SERVICE LEGEND

SURVEY	
	DATUM
	PF PEG FOUND
	PG PEG GONE
SEWERAGE	
	SEW SEWER MANHOLE
	IO INSPECTION OPENING
	IS INSPECTION SHAFT
WATER	
	M WATER METER
	H HYDRANT
	F FLUSH POINT
	V STOP VALVE
ELECTRICAL	
	D POWER DOME/PILLAR
	P POWER POLE
	L LAMP POST
	C CONSUMER POLE
	A STAY WIRE ANCHOR
STORMWATER	
	STORMWATER MANHOLE
	GRATE
	SIDE ENTRY PIT
GAS	
	G GAS METER
	S SERVICE VALVE
TELECOM	
	T COMMUNICATION PIT
	TMH TELSTRA MANHOLE
SEWER CONNECTION POSITION	
REFER TO DRAINAGE PLUMBING DIAGRAM FOR INTERNAL STRATA SERVICING	

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.

TOWN OF VICTORIA PARK
Received: 24/05/2024



NOTE: STRATA PLAN 84105 PENDING SURVEY APPROVAL AT TIME OF SURVEY

CLIENT: HIGH STREET BUILDERS			
ADDRESS: LOT 1 (#18) STAINES STREET, LATHLAIN			
PLAN: SP84105	C/T: TBC	AUTHORITY: TOWN OF VICTORIA PARK	
DATE: 28/02/2024		JOB REFERENCE: TSA4677 - FS	
H. Grid : LOCAL	Local level : 10.00	A.H.D. value	Distance
V. Datum : LOCAL	A.H.D. level :	derived from :	from Datum :
VERSION	DATE	DESCRIPTION	APPROVED BY

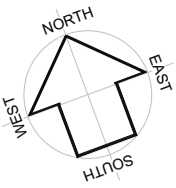
TSA SURVEYS
CONSULTING SURVEYORS

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IMPORTANT NOTES:	
1.	The information on this drawing is current at the date of survey.
2.	All services are to be confirmed with relevant authorities.
3.	This include without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
4.	Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
5.	Original lot dimensions taken from Landgate Survey Plans.
6.	Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
7.	The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
8.	Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
9.	This plan is for the purpose of application and in no way represents WAPC conditional approval.
10.	TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on it for any purpose.

Scale: 1:200 at A3

10. Permission is required from TSA Surveys for the reproduction or copying of this plan.



LOT 1

506m²

SERVICE INFORMATION

AREA	ESTABLISHED
SEWERAGE	YES DEPTH
WATER	YES PRELADR
ELECTRICAL	YES O/H
TELECOM	YES
GAS	TBC
DRAFTED	DF SURVEYOR/CF

SERVICE LEGEND

SURVEY

★	DATUM
○PF	PEG FOUND
○PG	PEG GONE

SEWERAGE

○	SEW SEWER MANHOLE
○IO	INSPECTION OPENING
○IS	INSPECTION SHAFT

WATER

○M	WATER METER
○H	HYDRANT
○F	FLUSH POINT
○V	STOP VALVE

ELECTRICAL

○/□D	POWER DOME/PILLAR
○P	POWER POLE
○L	LAMP POST
○C	CONSUMER POLE
○A	STAY WIRE ANCHOR

STORMWATER

○	STORMWATER MANHOLE
□	GRATE
□	SIDE ENTRY PIT

GAS

○G	GAS METER
○S	SERVICE VALVE

TELECOM

○T	COMMUNICATION PIT
○TMH	TELSTRA MANHOLE

SEWER CONNECTION POSITION

REFER TO DRAINAGE PLUMBING DIAGRAM FOR INTERNAL STRATA SERVICING

LANDSCAPING IN FRONT SETBACK AREA NOTE:

- TOTAL AREA TO FRONT SETBACK 65.16m²
- MAX. IMPERVIOUS AREA ALLOWED WITHIN FRONT SETBACK 32.58m² (50% OF 65.16m²)
- TOTAL IMPERVIOUS AREA WITHIN FRONT SETBACK AREA 32.51m²



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CLIENT:	HIGH STREET BUILDERS		
ADDRESS:	LOT 1 (#18) STAINES STREET, LATHLAIN		
PLAN:	C/T:	AUTHORITY:	
SP84105	TBC	TOWN OF VICTORIA PARK	
DATE:	JOB REFERENCE:		
28/02/2024	TSA4677 - FS		
H. Grid :	LOCAL	Local level :	10.00
V. Datum :	LOCAL	A.H.D. value derived from :	Distance from Datum :
VERSION	DATE	DESCRIPTION	APPROVED BY

TSA SURVEYS
CONSULTING SURVEYORS

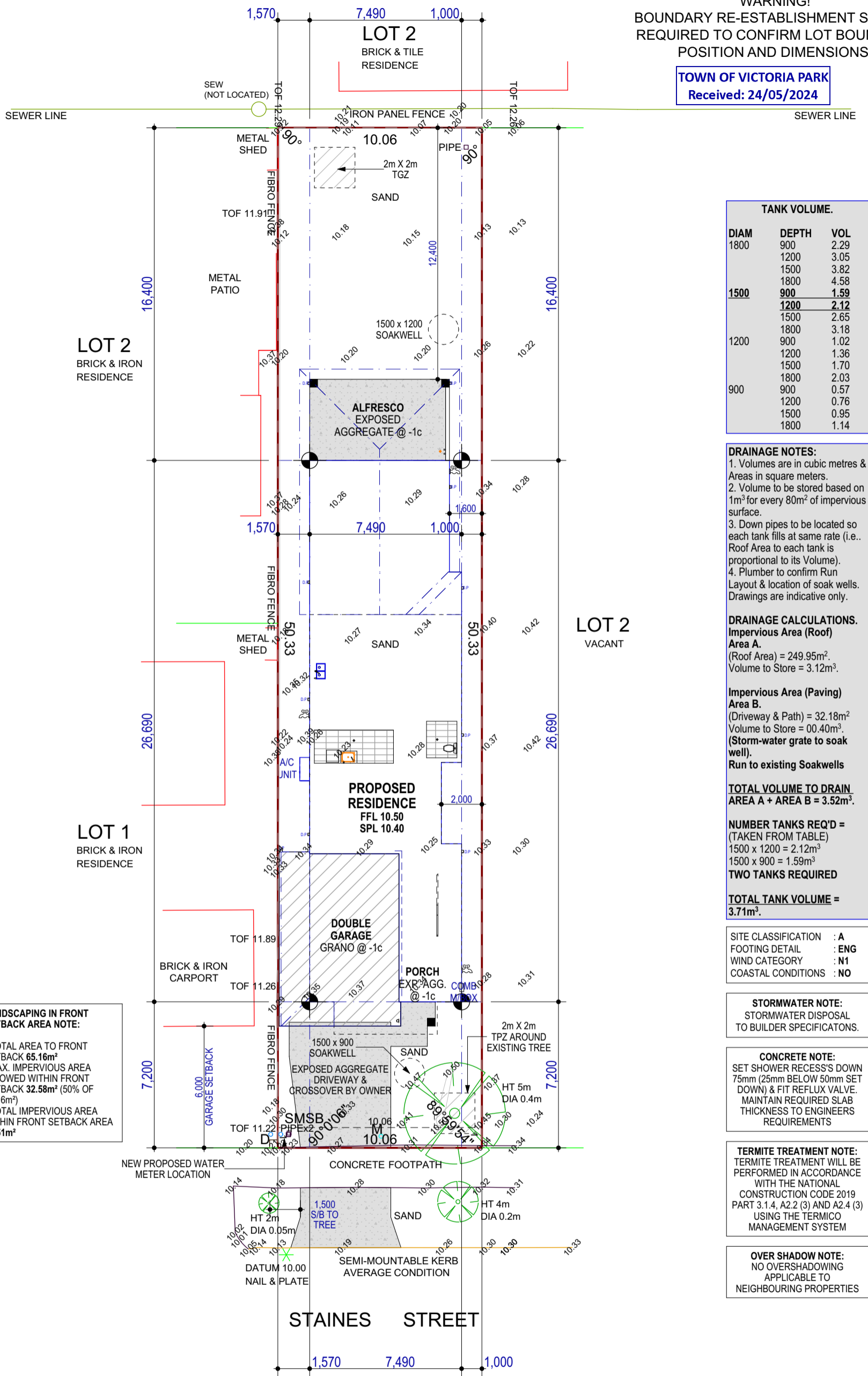
A| U4/3 Wicks Street, Bayswater WA 6053
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E| admin@tsasurveys.com.au
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ABN| 56 645 650 666

IMPORTANT NOTES:

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- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
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REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.

TOWN OF VICTORIA PARK
Received: 24/05/2024



TANK VOLUME.

DIAM	DEPTH	VOL
1800	900	2.29
	1200	3.05
	1500	3.82
	1800	4.58
1500	900	1.59
	1200	2.12
	1500	2.65
	1800	3.18
1200	900	1.02
	1200	1.36
	1500	1.70
	1800	2.03
900	900	0.57
	1200	0.76
	1500	0.95
	1800	1.14

DRAINAGE NOTES:

- Volumes are in cubic metres & Areas in square meters.
- Volume to be stored based on 1m³ for every 80m² of impervious surface.
- Down pipes to be located so each tank fills at same rate (i.e. Roof Area to each tank is proportional to its Volume).
- Plumber to confirm Run Layout & location of soak wells. Drawings are indicative only.

DRAINAGE CALCULATIONS.
Impervious Area (Roof) Area A.
(Roof Area) = 249.95m²
Volume to Store = 3.12m³.

Impervious Area (Paving) Area B.
(Driveway & Path) = 32.18m²
Volume to Store = 0.40m³.
(Storm-water grate to soak well).

Run to existing Soakwells
TOTAL VOLUME TO DRAIN AREA A + AREA B = 3.52m³.

NUMBER TANKS REQ'D =
(TAKEN FROM TABLE)
1500 x 1200 = 2.12m³
1500 x 900 = 1.59m³
TWO TANKS REQUIRED

TOTAL TANK VOLUME = 3.71m³.

SITE CLASSIFICATION : **A**
FOOTING DETAIL : **ENG**
WIND CATEGORY : **N1**
COASTAL CONDITIONS : **NO**

STORMWATER NOTE:
STORMWATER DISPOSAL TO BUILDER SPECIFICATIONS.

CONCRETE NOTE:
SET SHOWER RECESS'S DOWN 75mm (25mm BELOW 50mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

TERMITE TREATMENT NOTE:
TERMITE TREATMENT WILL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2019 PART 3.1.4, A2.2 (3) AND A2.4 (3) USING THE TERMICO MANAGEMENT SYSTEM

OVER SHADOW NOTE:
NO OVERSHADOWING APPLICABLE TO NEIGHBOURING PROPERTIES

NOTES:
 GROUND FLOOR EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER. ADDENDA.
 32c CEILINGS UNLESS OTHERWISE NOTED.

FLASHING NOTE:
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER AUSTRALIAN STANDARDS.

FIXING CARPENTER NOTE:
 WIP:
 5x 450 WIDE SHELVES
 ROBES:
 1x SHELF & RAIL @ 1750
 LINEN:
 5x 450 WIDE SHELVES

ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

SITE CLASSIFICATION : A
 FOOTING DETAIL : ENG
 WIND CATEGORY : N1
 COASTAL CONDITIONS : NO

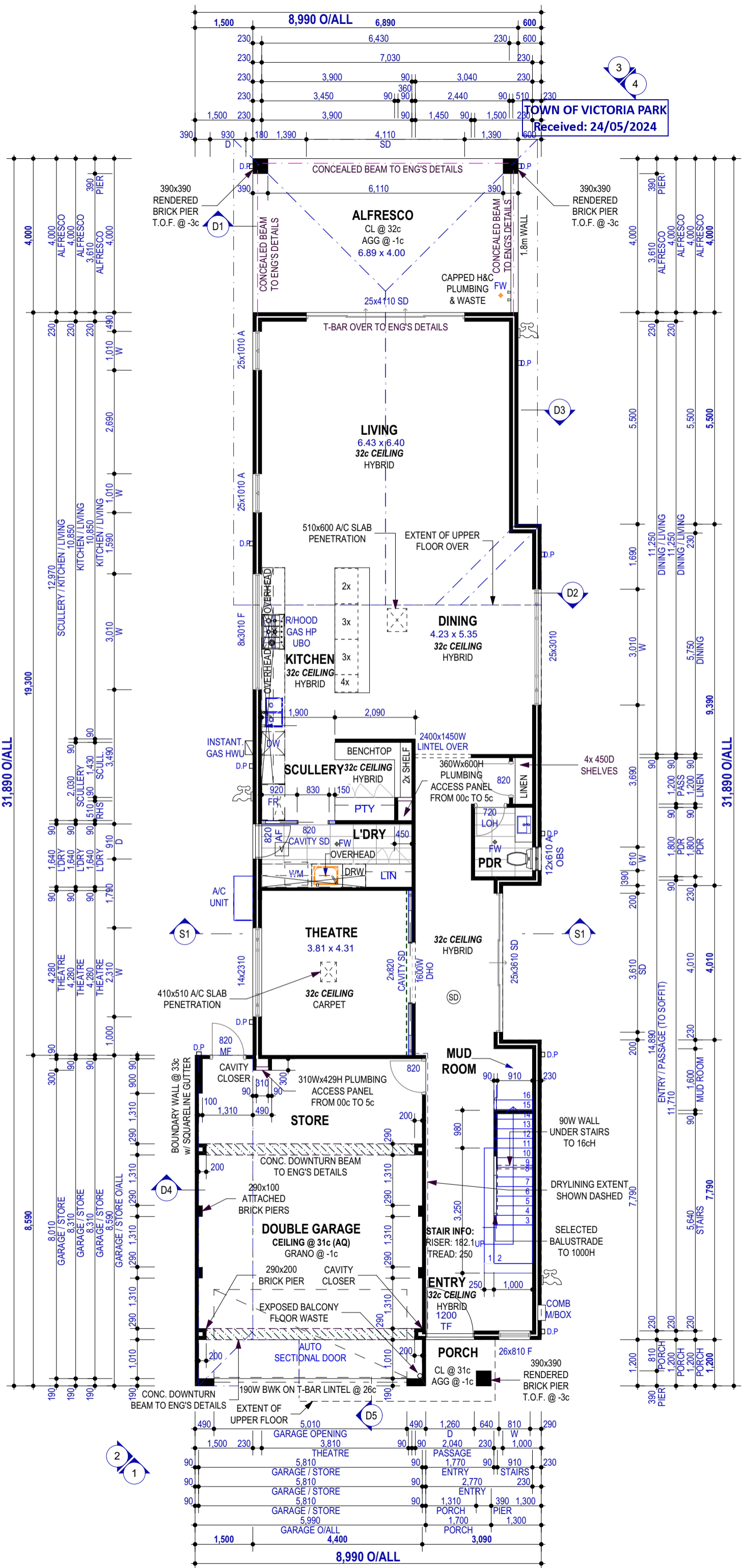
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

VARIATIONS:	DESCRIPTION:	INT:	DATE:
1	CONCEPT DESIGN/NE	16.11.23	22.11.23
2	CONCEPT AMENDMENTS	04.12.23	
3	ELEVATIONS	17.01.24	
4	DESIGN DEVELOPMENT 1	08.02.24	
5	DESIGN DEVELOPMENT 2	20.03.24	
6	PLANNING DRAWINGS		
7	WORKING DRAWINGS		
8	PLANNING AMENDMENTS	22.04.24	23.05.24
9			

CLIENT: **COLES & AYDT**
 SITE ADDRESS: **LOT 201 (18) STAINES STREET LATHLAIN 6100**
 DESIGNER: **NICK EVANS** PHONE: 0418 113 422

LATHLAIN RESIDENCE FLOOR PLAN GF
 DATE: 23/05/2024
 SCALE: 1:1, 1:100
 SHEET N°: 05 of 12
 REVISION N°: 08
 JOB N°: 24041

Name	Area	Peri...
ALFFRESCO	27.560	21.780
BALCONY	10.064	15.780
DOUBLE GARAGE	50.393	29.160
HOUSE - FF	138.974	55.160
HOUSE - GF	160.478	70.360
PORCH	2.880	6.800
	390.349 m ²	



TOWN OF VICTORIA PARK
 Received: 24/05/2024



NOTES:
 GROUND FLOOR EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER. ADDENDA.
 31c CEILINGS UNLESS OTHERWISE NOTED.

FIXING CARPENTER NOTE:
ROBES:
 1x SHELF & RAIL @ 1750
LINEN:
 4x 450w SHELVES

ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

SITE CLASSIFICATION : A
 FOOTING DETAIL : ENG
 WIND CATEGORY : N1
 COASTAL CONDITIONS : NO

FIRST FLOOR OPENABLE WINDOWS TO COMPLY WITH NCC 3.9.2

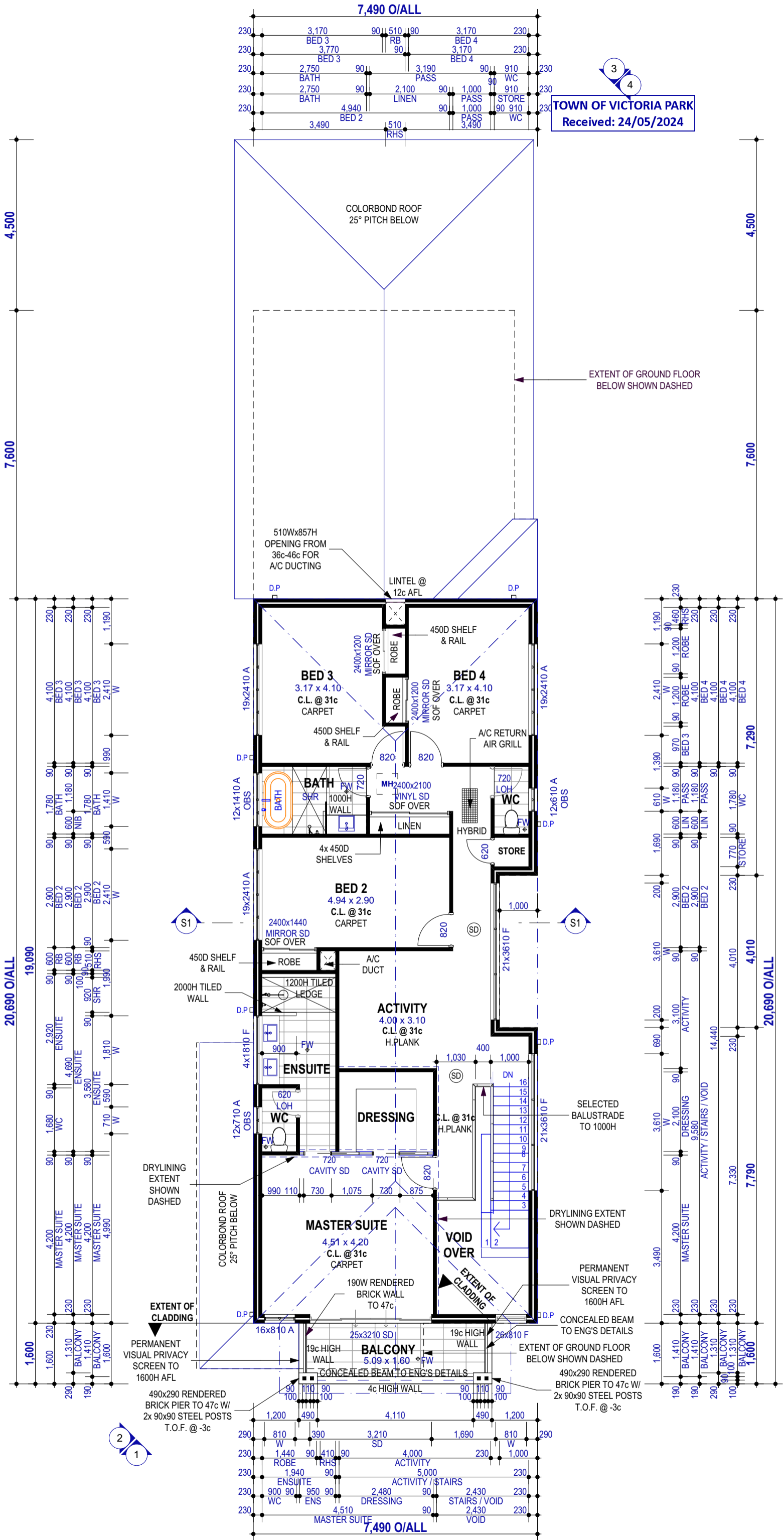
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

REV.	DESCRIPTION	DATE
1	CONCEPT DESIGN/NE	16.11.23
2	CONCEPT AMENDMENTS	04.12.23
3	ELEVATIONS	04.12.23
4	DESIGN DEVELOPMENT	17.01.24
5	DESIGN DEVELOPMENT 2	08.02.24
6	PLANNING DRAWINGS	20.03.24
7	WORKING DRAWINGS	22.04.24
8	PLANNING AMENDMENTS	23.05.24

CLIENT: **COLES & AYDT**
 SITE ADDRESS: **LOT 201 (18) STAINES STREET LATHLAIN 6100**
 DESIGNER: **NICK EVANS** PHONE: 0418 113 422

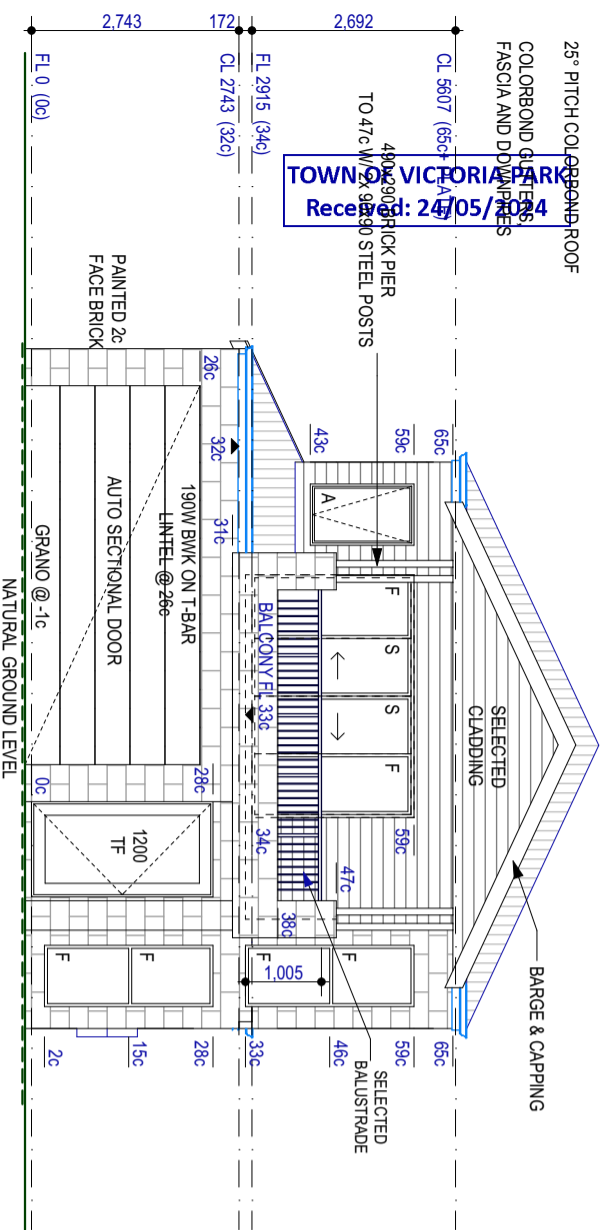
LATHLAIN RESIDENCE FLOOR PLAN FF
 DATE: 23/05/2024
 SCALE: 1:100, 1:1
 SHEET N°: 06 of 12
 REVISION N°: 08
 JOB N°: 24041

Name	Area	Peri...
ALFFRESCO	27.560	21.780
BALCONY	10.064	15.780
DOUBLE GARAGE	50.393	29.160
HOUSE - FF	138.974	55.160
HOUSE - GF	160.478	70.360
PORCH	2.880	6.800
TOTAL	390.349 m²	

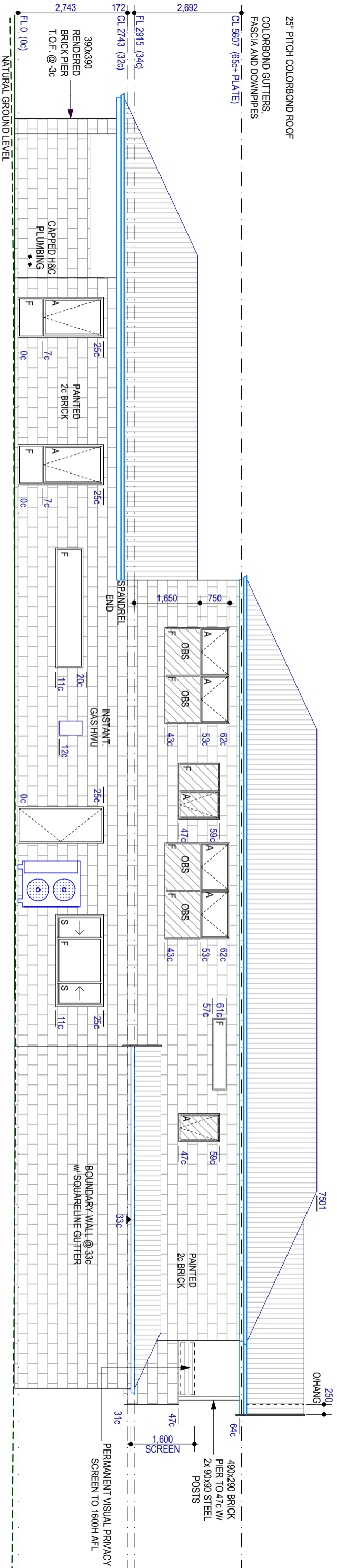


TOWN OF VICTORIA PARK
 Received: 24/05/2024





1 ELEVATION
1:100



2 ELEVATION
1:100

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:
OWNER: DATE:

VARIATIONS:

REV.	DESCRIPTION:	INT.	DATE
1	CONCEPT DESIGN/NE	16.11.23	22.11.23
2	CONCEPT AMENDMENTS	04.12.23	
3	ELEVATIONS	17.01.24	
4	DESIGN DEVELOPMENT	08.02.24	
5	PLANNING DRAWINGS	20.03.24	
6	WORKING DRAWINGS		
7	PLANNING AMENDMENTS		
8			
9			

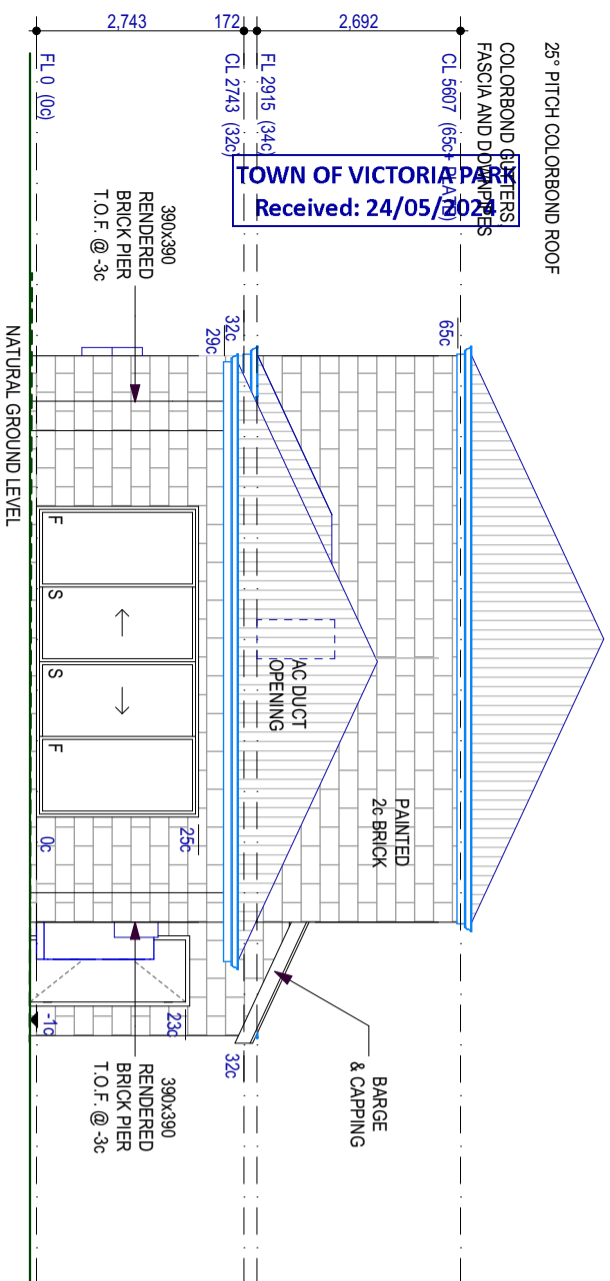
CLIENT: **COLES & AYDT**

SITE ADDRESS: **LOT 201 (18) STAINES STREET LATHLAIN 6100**

DESIGNER: **NICK EVANS** PHONE: 0418 113 422

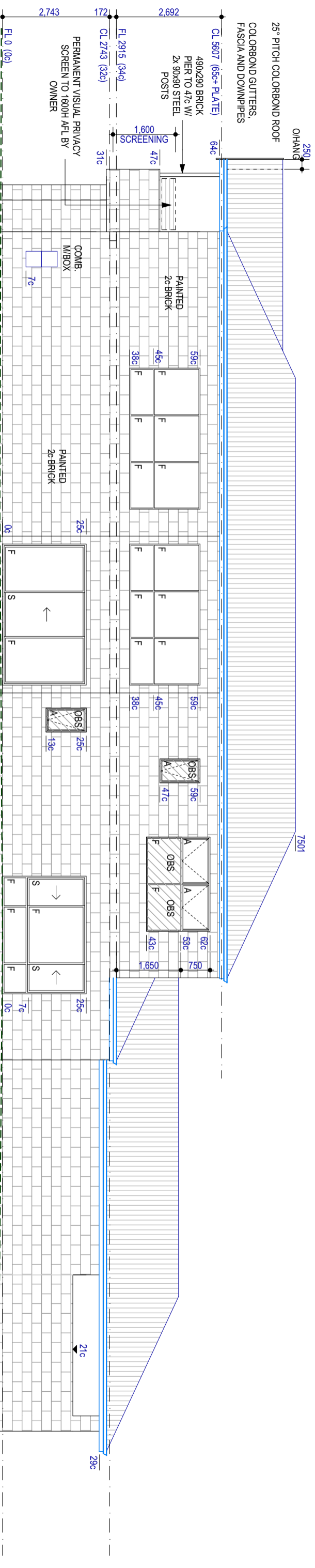
LATHLAIN RESIDENCE ELEVATIONS 01

DATE: 23/05/2024 SHEET N°: 07 of 12
SCALE: 1:100
REVISION N°: 08 JOB N°: 24041



3 ELEVATION

1:100



4 ELEVATION

1:100

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNER DATE:

OWNER DATE:

BUILDER DATE:

REV.	DESCRIPTION:	INT.	DATE
1	CONCEPT DESIGN/NE	16.11.23	22.11.23
2	CONCEPT AMENDMENTS	04.12.23	
3	ELEVATIONS	17.01.24	
4	DESIGN DEVELOPMENT	08.02.24	
5	DESIGN DEVELOPMENT 2	20.03.24	
6	PLANNING DRAWINGS		
7	WORKING DRAWINGS		
8	PLANNING AMENDMENTS	22.04.24	23.05.24
9			

CLIENT: **COLES & AYDT**

SITE ADDRESS: **LOT 201 (18) STAINES STREET LATHLAIN 6100**

DESIGNER: **NICK EVANS** PHONE: **0418 113 422**

LATHLAIN RESIDENCE

ELEVATIONS 02

DATE: 23/05/2024 SHEET N°: 08 of 12

SCALE: 1:100

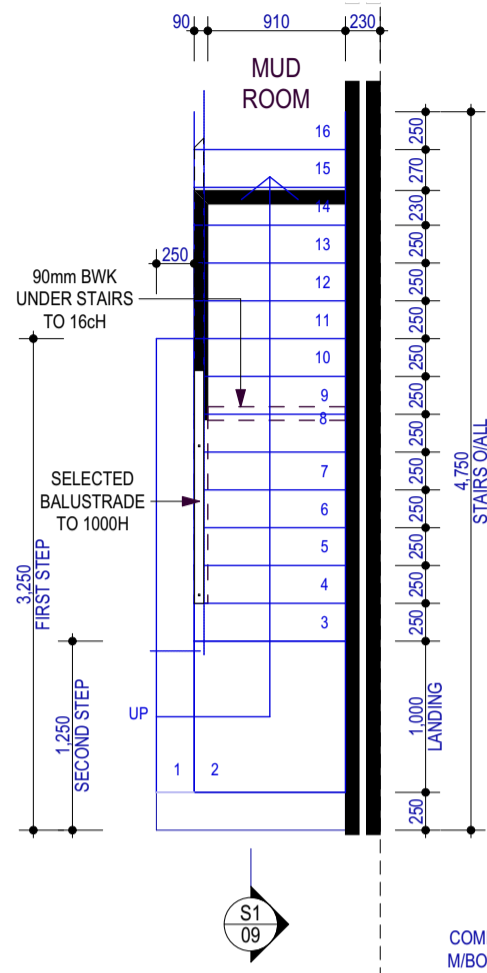
REVISION N°: 08 JOB N°: 24041



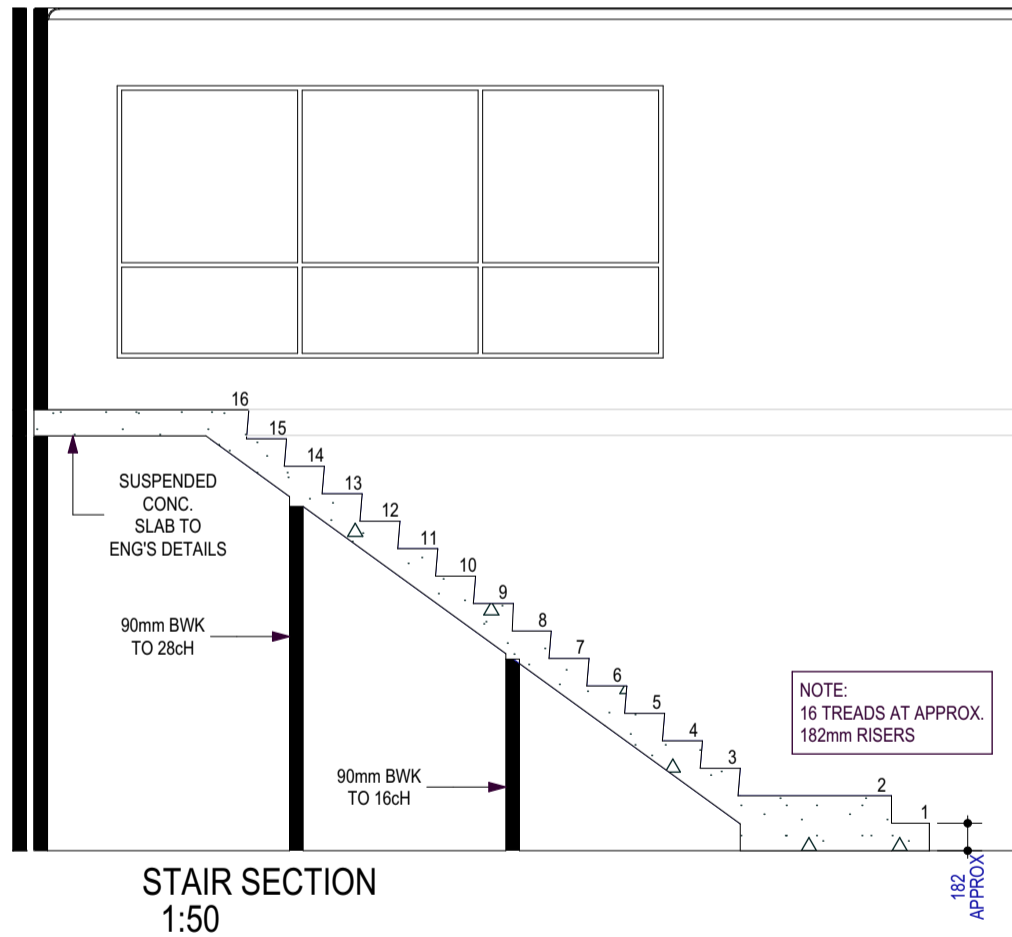
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NOTE: THE FOLLOWING IS BEING PROVIDED TO THE HOME THEATRE IN ACCORDANCE WITH THE BCA:
 LIGHT TO 3.8.4.2 (c)
 VENTILATION TO 3.8.5.2 (b)
 AIR MOVEMENT TO 3.12.4.1 (b) & 3.12.4.2

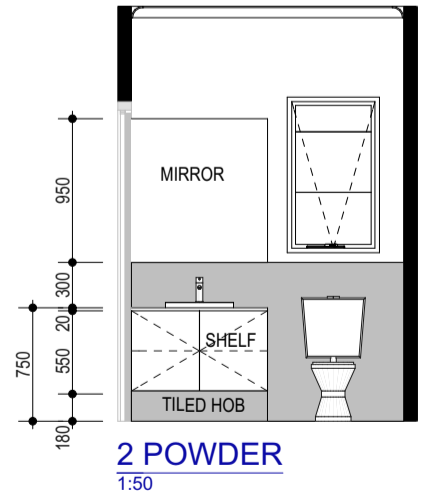
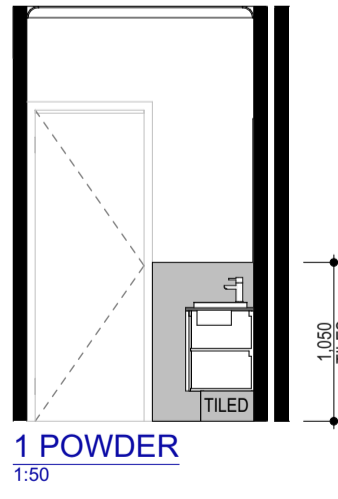
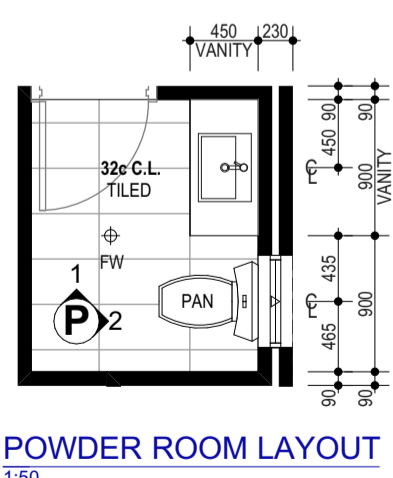
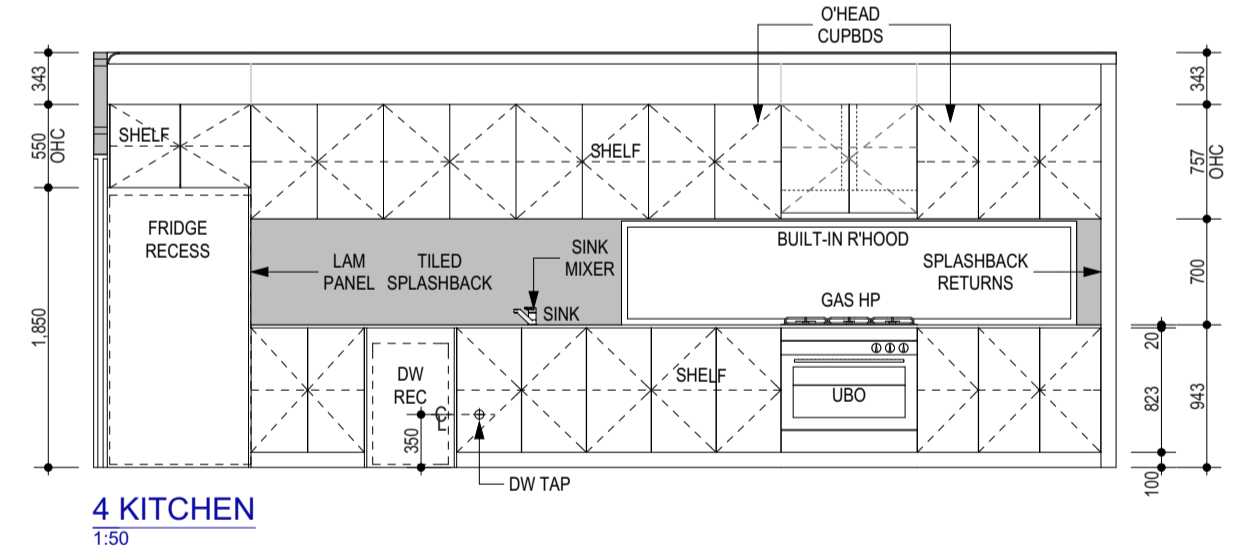
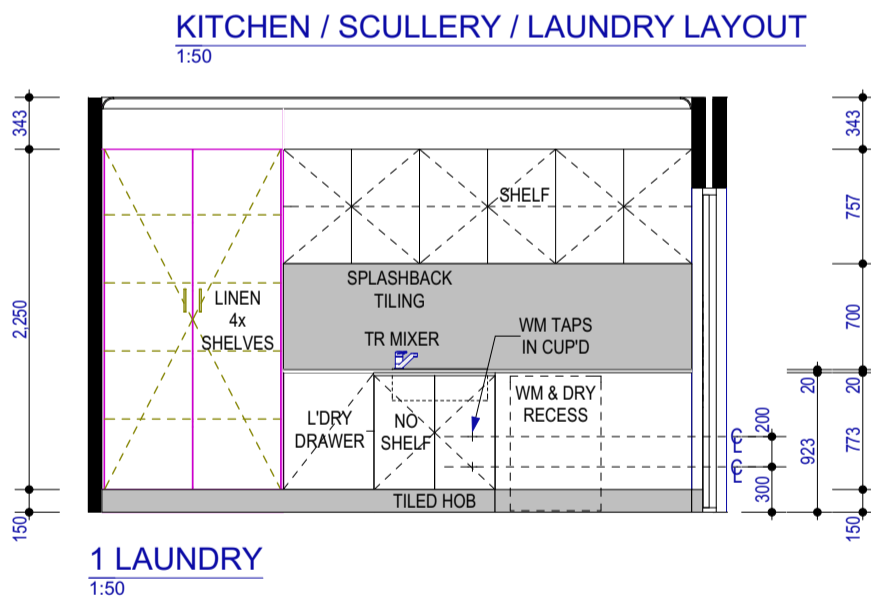
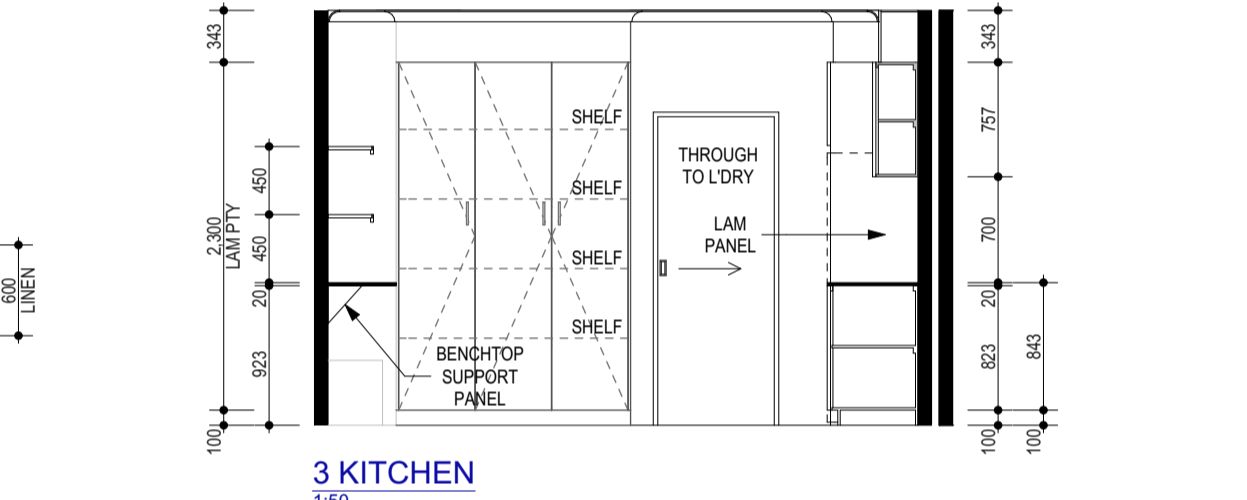
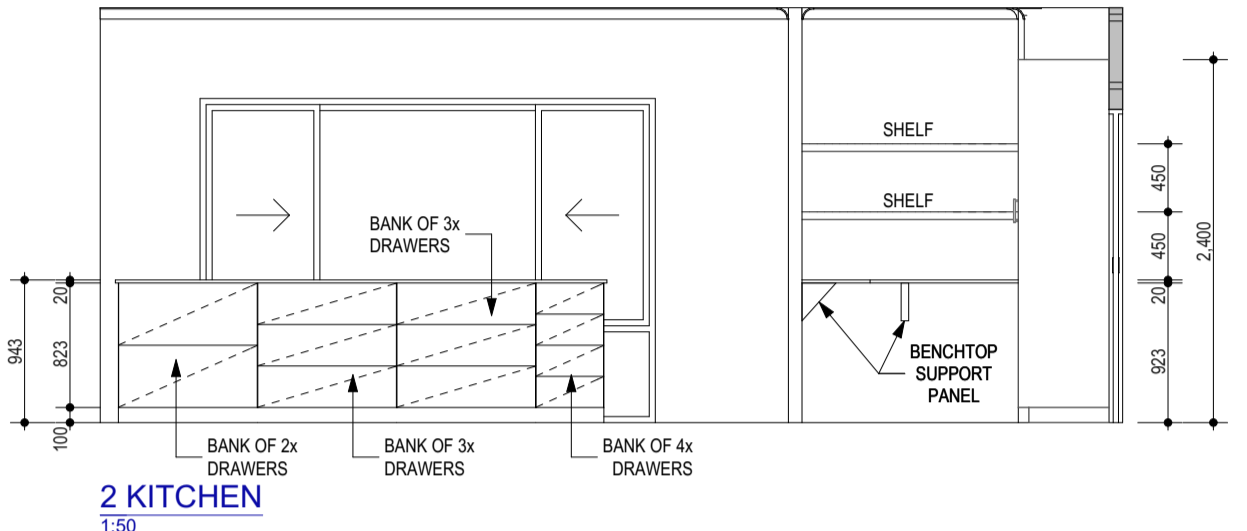
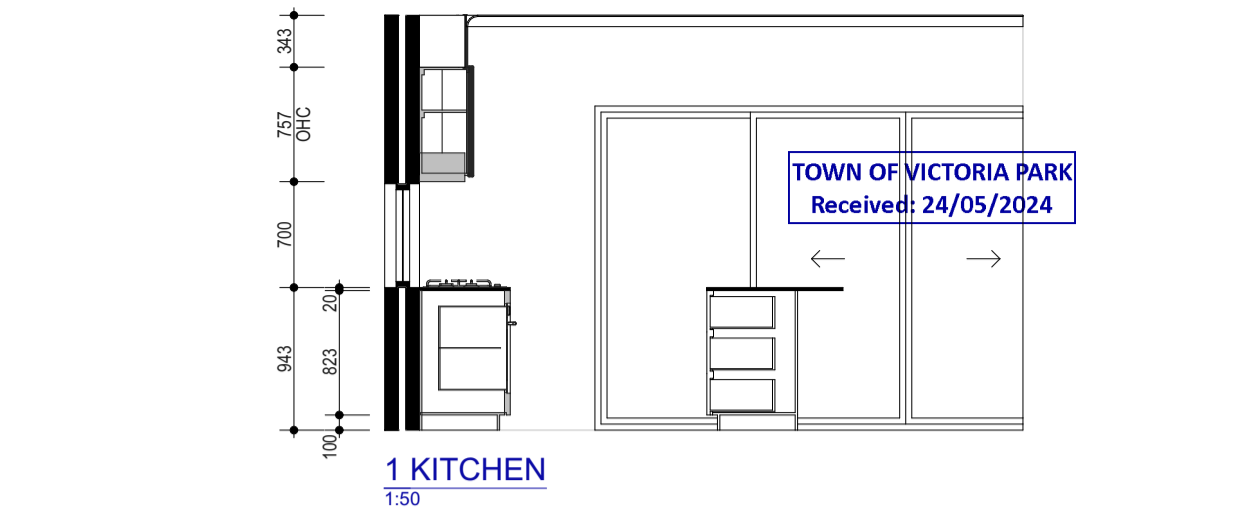
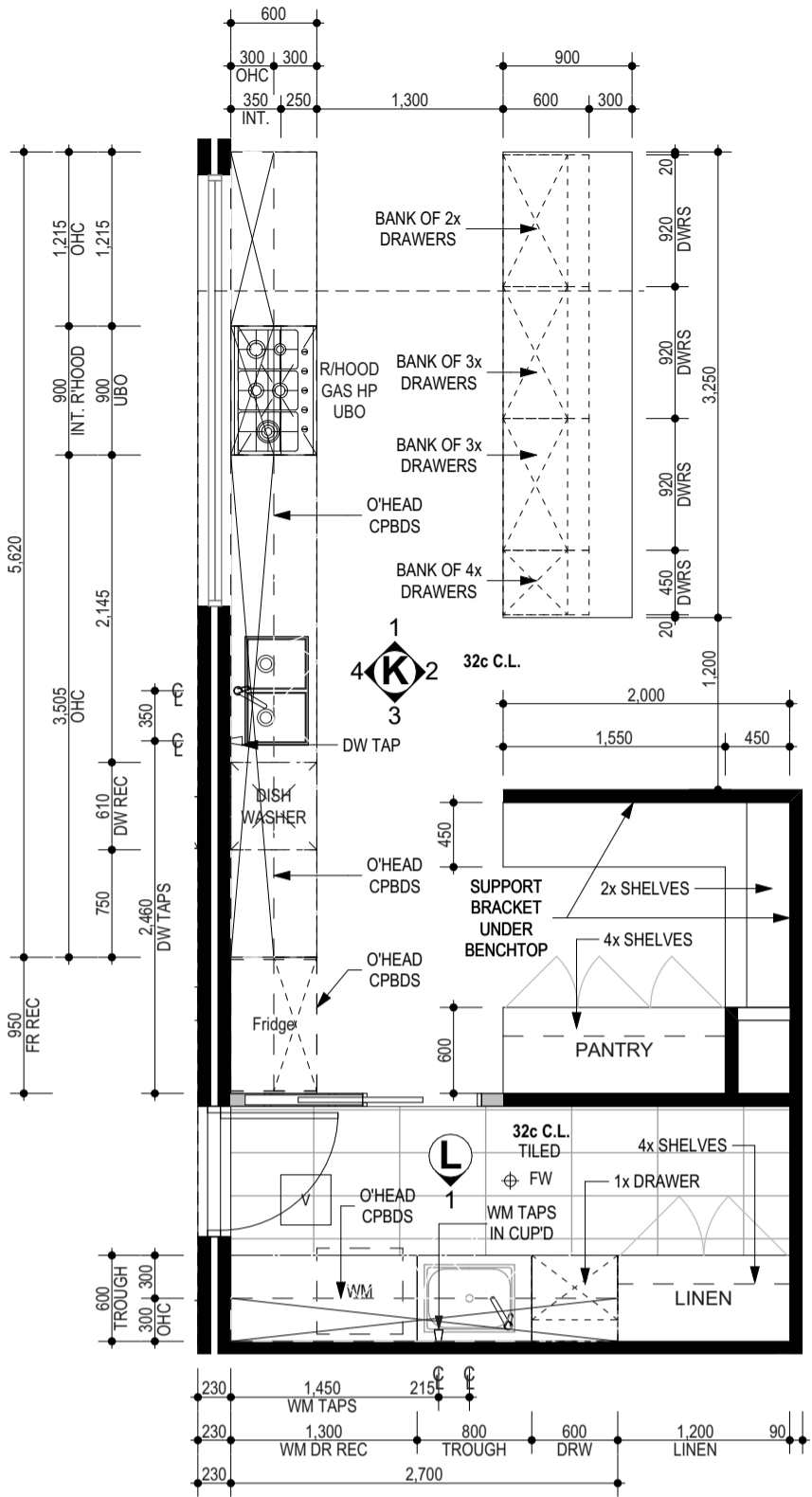
TOWN OF VICTORIA PARK
 Received: 24/05/2024

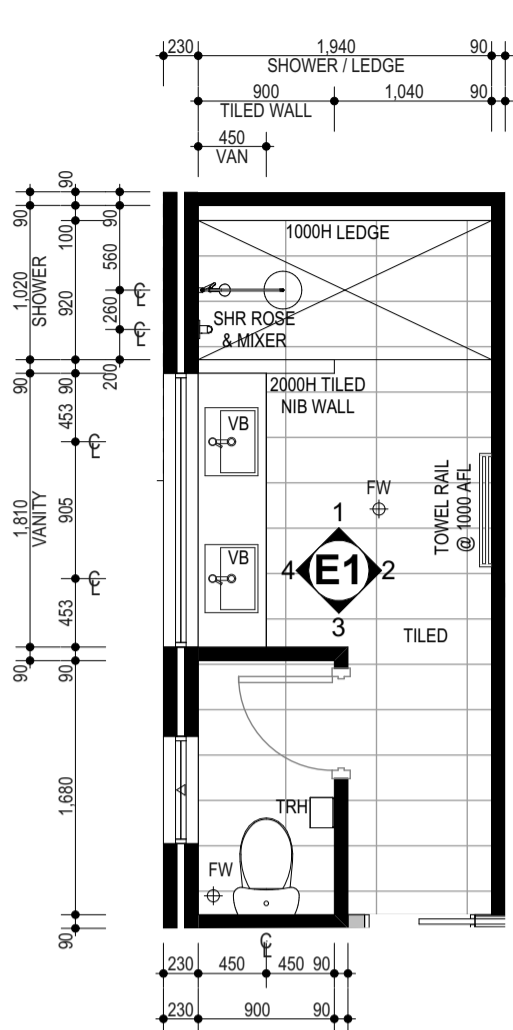


STAIR LAYOUT
 1:50

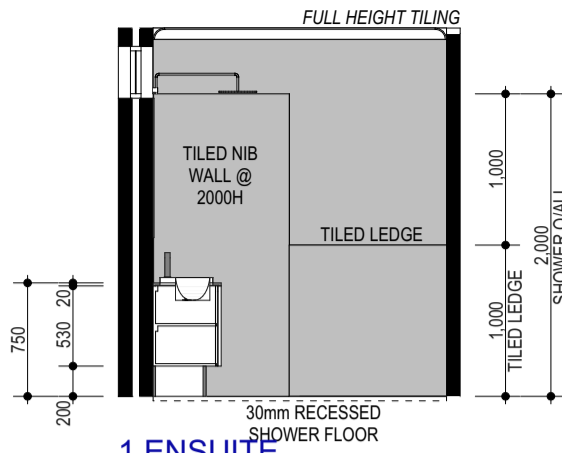


STAIR SECTION
 1:50

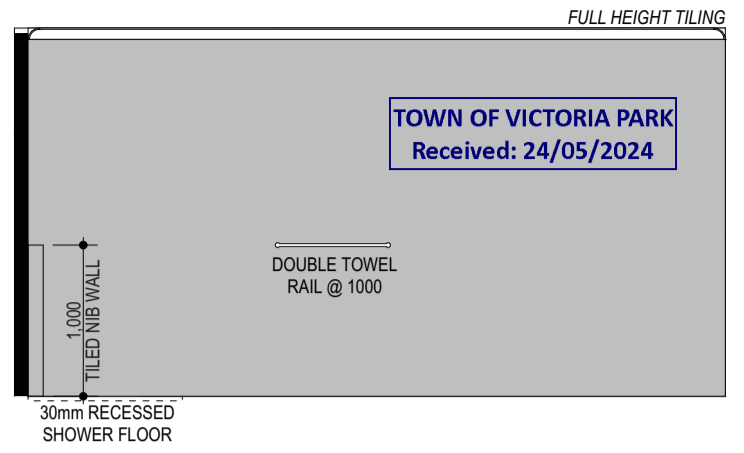




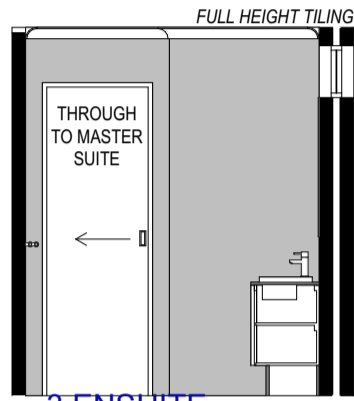
ENSUITE LAYOUT
1:50



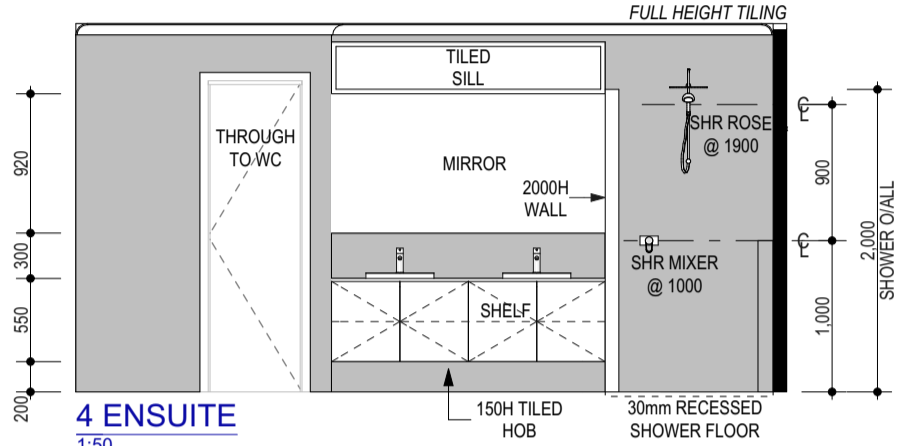
1 ENSUITE
1:50



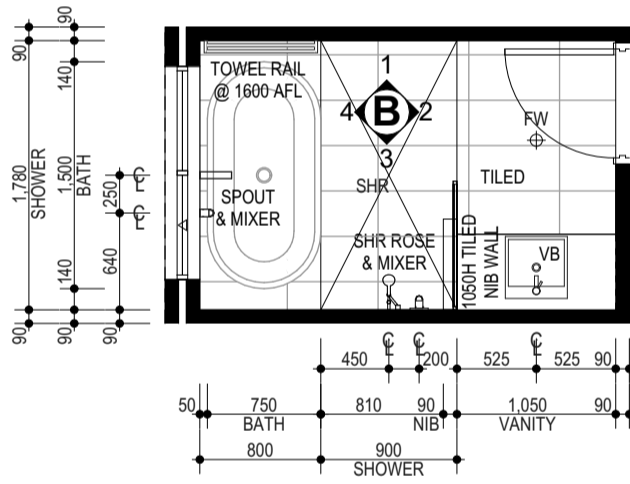
2 ENSUITE
1:50



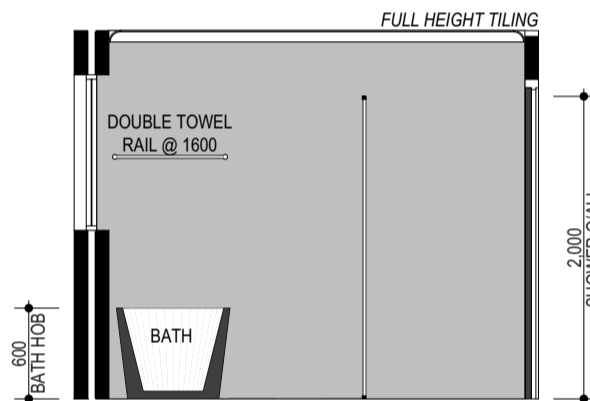
3 ENSUITE
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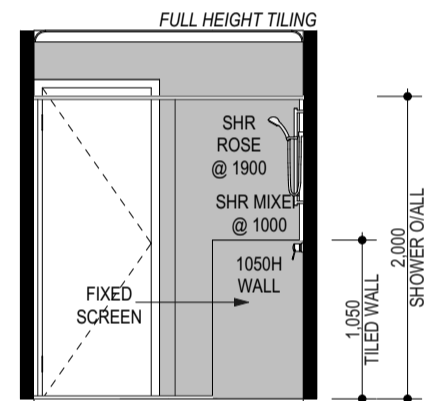
4 ENSUITE
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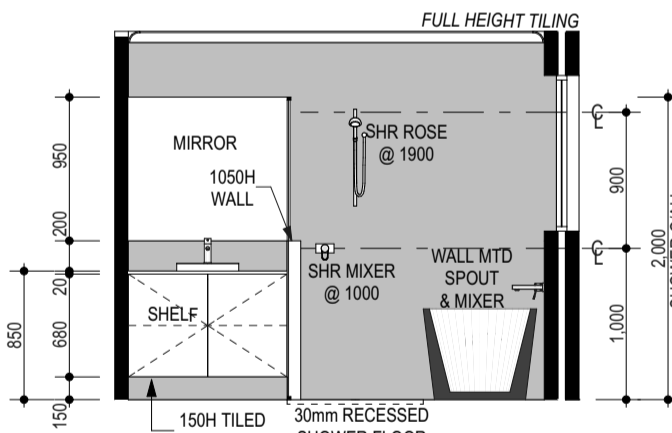
BATHROOM LAYOUT
1:50



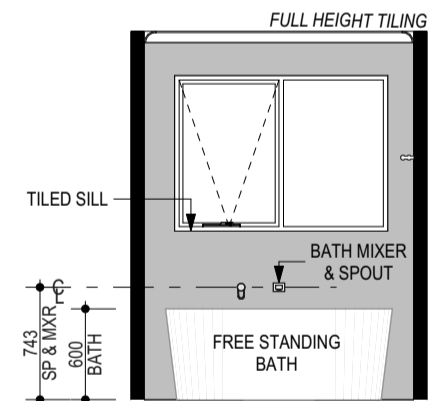
1 BATH
1:50



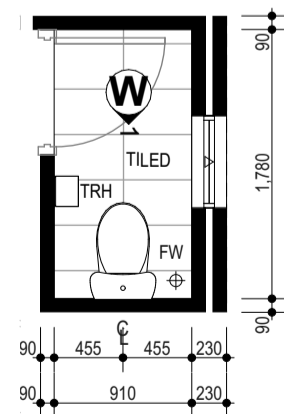
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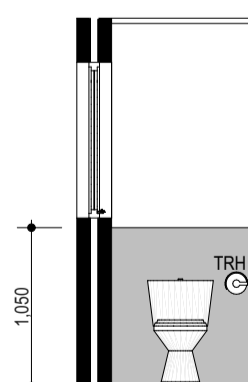
3 BATH
1:50



4 BATH
1:50



WC LAYOUT
1:50



1 WC
1:50