

Our Ref: PN24358
Address: 51 Howick Street, Lathlain
Date: 24/10/2024

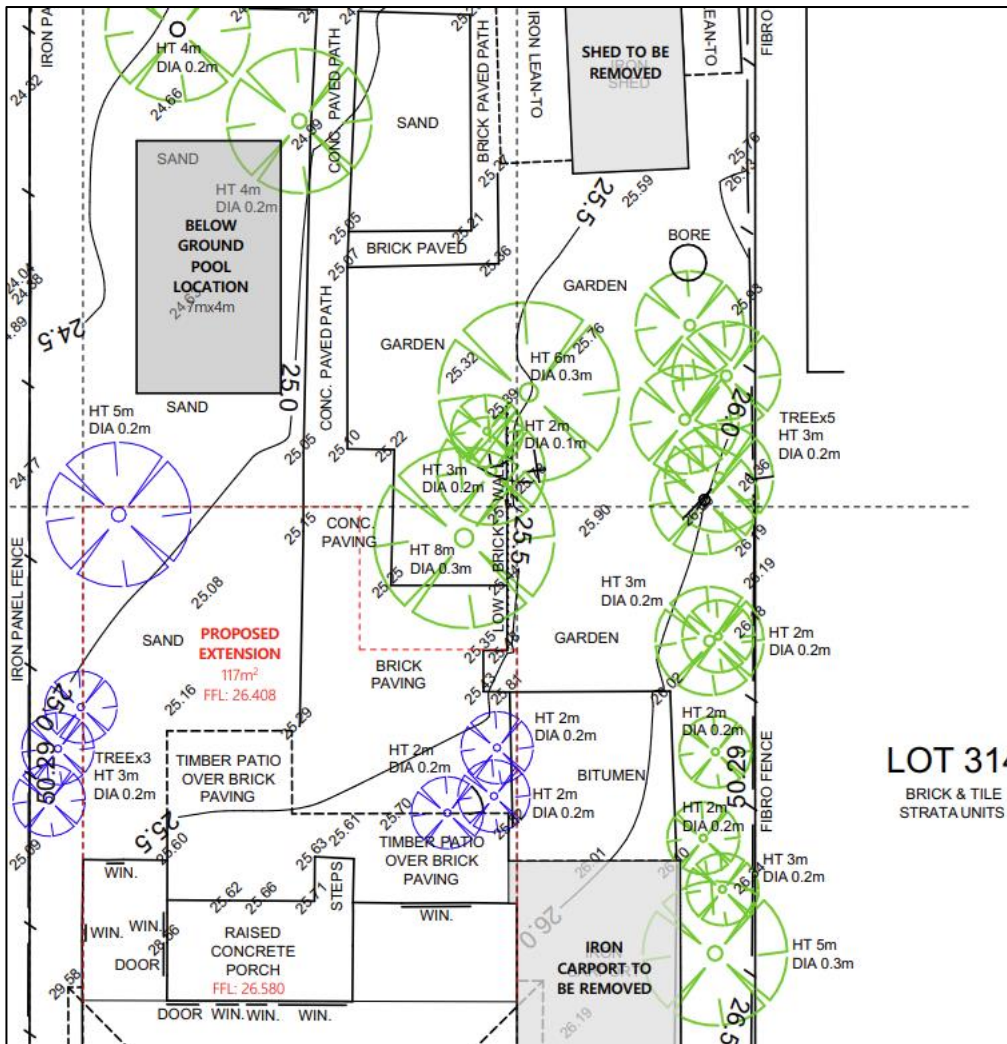
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51 HOWICK STREET, LATHLAIN - ADDITIONAL JUSTIFICATION | CLAUSE 5.4.1 - VISUAL PRIVACY

This justification letter has been prepared by Developed Property Pty Ltd for the proposed alterations and additions at 51 Howick Street, Lathlain. The site has been reviewed and assessed against the Town of Victoria Park's Planning Scheme No.1 and State Planning Policy 7.3 – Residential Design Codes Volume 1 (R-Codes). The proposed single additions generally comply with the provisions of the R-Codes; however, an overlooking variation have been noted and require approval from the Town of Victoria Park:

Design Principle Criteria	Assessment
<p>5.4.1 Privacy</p> <p><i>P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:</i></p> <ul style="list-style-type: none"> • <i>building layout and location;</i> • <i>design of major openings;</i> • <i>landscape screening of outdoor active habitable spaces; and/or</i> • <i>location of screening devices.</i> <p><i>P1.2 Maximum visual privacy to side and rear boundaries through measures such as:</i></p> <ul style="list-style-type: none"> • <i>offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;</i> • <i>building to the boundary where appropriate;</i> • <i>setting back the first floor from the side boundary;</i> • <i>providing higher or opaque and fixed windows; and/or</i> • <i>screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters</i> 	<ul style="list-style-type: none"> • the potential overlooking caused by the raised alfresco is limited to a small section of hard surface outdoor area; • there will be no habitable rooms that will be impinged by the variation; • As shown in the below plan insert, a considerable number of trees are proposed to be retained which will naturally conceal any overlooking concerns. • there is a 1.8m dividing fence between the two properties which further limits any potential overlooking opportunities. • The above circumstances offset any potential overlooking caused by the reduced setback of the raised alfresco (outdoor living). • The overlooking area proposed from the southern outdoor living area is limited to overlooking an outdoor shed in the neighbouring property. • A 1.8m there is a 1.8m dividing fence between the two properties which limits any potential overlooking opportunities. <p>Given the above, the proposal complies with the design principles of the R-Codes.</p>



Above Image: Plan Insert

The proposed minor variations have been adequately justified against the design principles for the Residential Design Codes Volume 1. We therefore respectfully request that the Town of Victoria Park assess this application in a favourable manner.

If you have any queries or require further clarification regarding the above matters, please do contact us via telephone or email as per the below details.

Yours sincerely,

Michael Clare

Senior Consultant

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