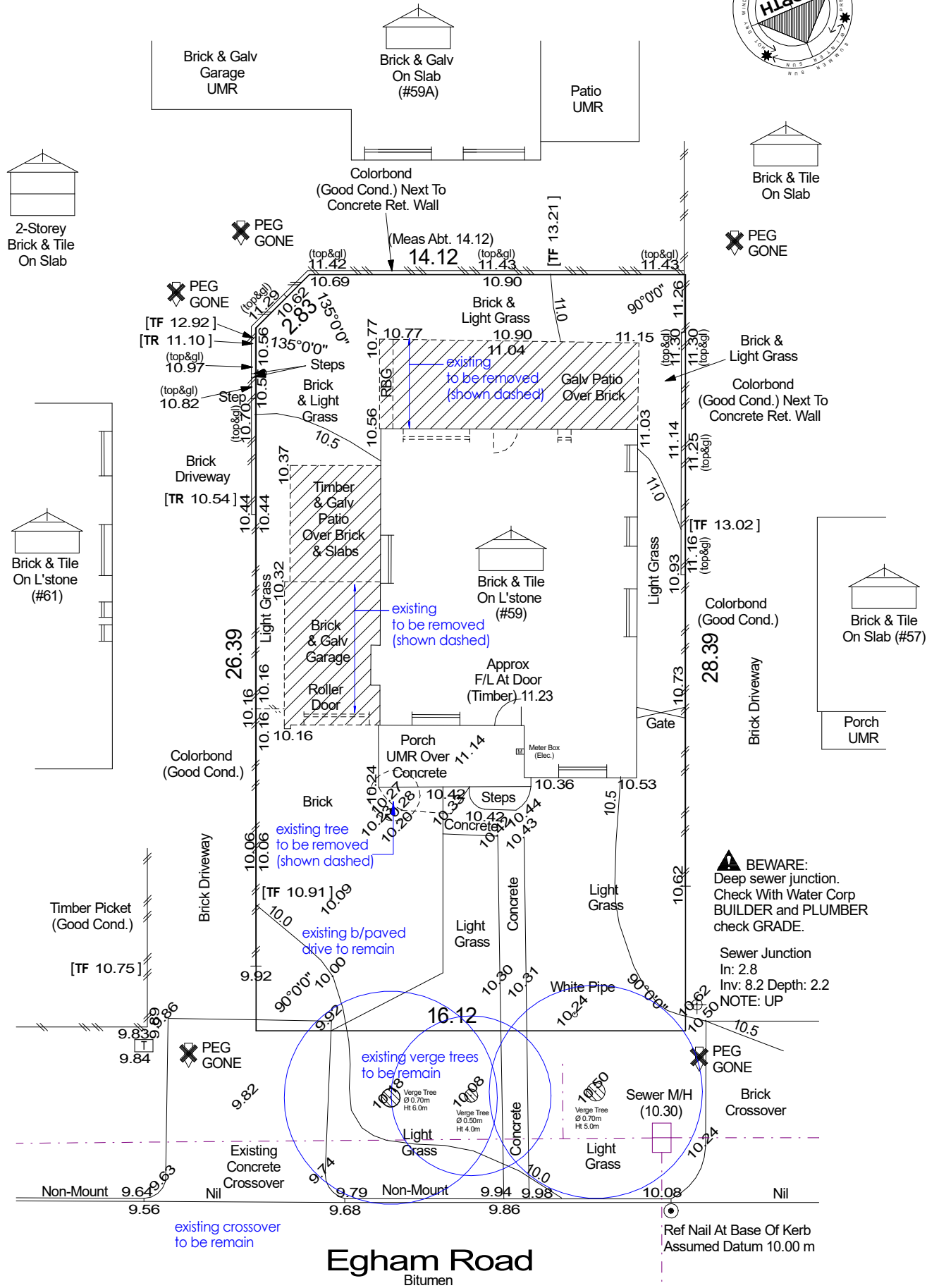


⊕	Power Dome
⊙	Power Pole
⊠	Phone Pits
⊞	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

TOWN OF VICTORIA PARK
Received: 18/06/2024



NOTE:
ALL STRUCTURES TO BE REMOVED SHOWN DASHED

NOTE:
FOR DEMOLITION PLAN REFER SHEET 04

LOT MISCLOSE
0.002 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

BEWARE:
Deep sewer junction. Check With Water Corp BUILDER and PLUMBER check GRADE.

Sewer Junction
In: 2.8
Inv: 8.2 Depth: 2.2
NOTE: UP

NOTE:
WATER METER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY.

Scale 1:200
0 2 4 6 8

COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	526639	GPS	Lat: -31.968042 Long: 115.904214
CLIENT	Wilson	LOT	Lot 1602 (DP 77388)
ADDRESS	#59 Egham Road	AREA	456m ²
SUBURB	Lathlain	VOL	2833
LGA	TOWN OF VICTORIA PARK	FOL	87
DRAWN	T.Currey	DATE	31 May 22
		SSA	No

ROADS	Bitumen	ELEC.	U/Ground
KERBS	Non-Mount / Nil	COMMS.	Yes
FOOTPATH	Nil	WATER	Yes(Not Loc)
SOIL	Sand	GAS	Check Alinta
DRAINAGE	Good	SEWER	Yes
VEGETATION	Refer to Survey	COASTAL	No (Approximate Only Confirm With Shire)

KTR CREATIONS

WILSON

LOT 1602 (#59) EGHAM ROAD
LATHLAIN
TOWN OF VICTORIA PARK

JOB NUMBER 2023083		DRAWING NAME EXISTING SITE PLAN	
START DATE OCTOBER 2023	REVISION DESCRIPTION	IN.	DATE
SHEET 01 of 06	FINAL CONCEPT DESIGN	KS	15.11.2023
SCALE 1:200	PLANNING	LJ	04.12.2023
REVISION C	CLIENT REV	LJ	06.02.2024
	PLANNING COMMENTS REVB	LJ	15.04.2024
	PLANNING COMMENTS REVC	LJ	12.06.2024

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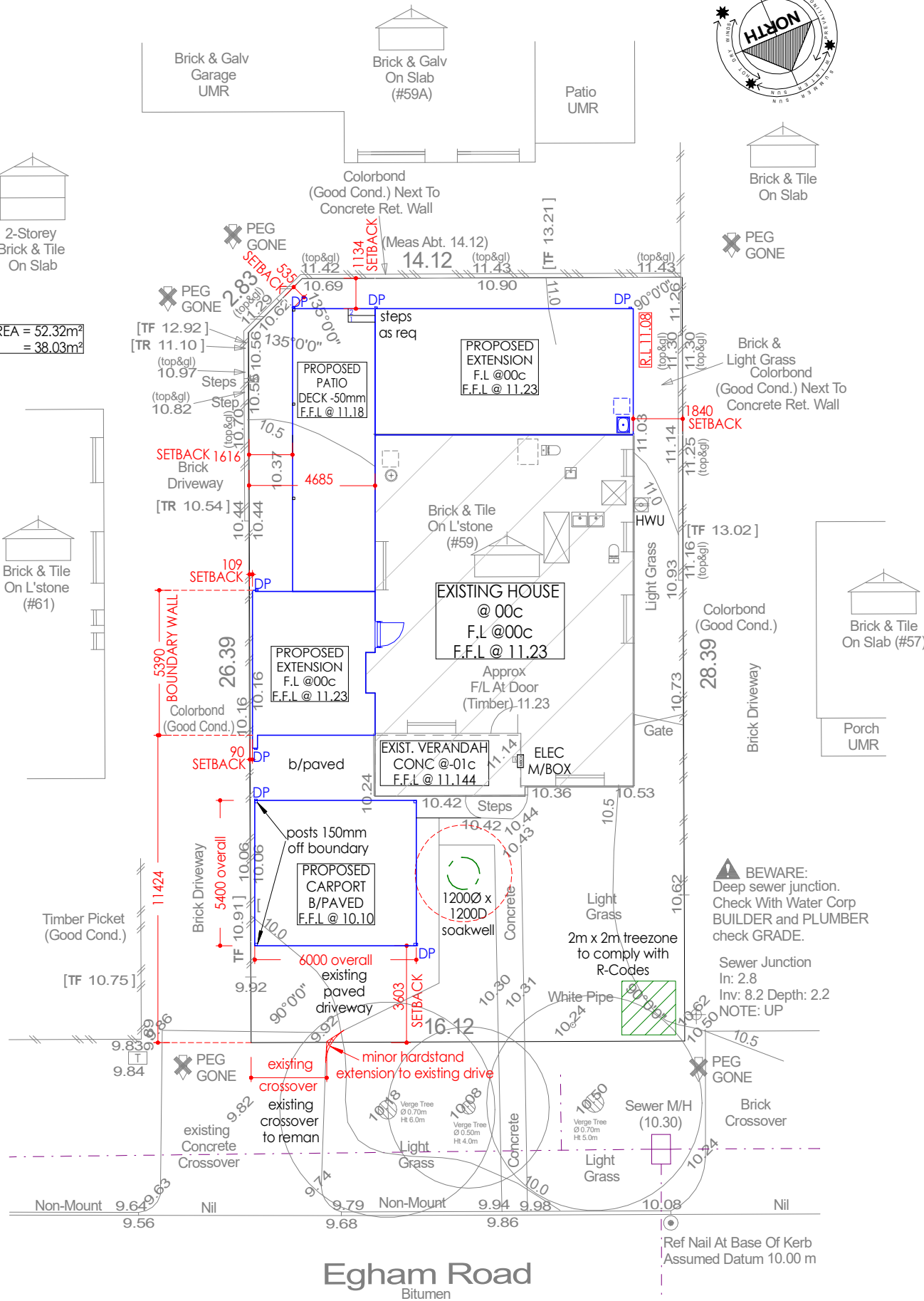
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TOWN OF VICTORIA PARK
Received: 18/06/2024

OUTDOOR LIVING AREA = 52.32m²
UNCOVERED = 38.03m²



BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

Sewer Junction
In: 2.8
Inv: 8.2 Depth: 2.2
NOTE: UP

Egham Road
Bitumen

<p>NOTE: EXISTING FENCES TO BE REMOVED AND REPLACED TO ALLOW CONSTRUCTION OF BOUNDARY WALLS AT BUILDERS DISCRETION. NECESSARY PERMISSIONS TO OBTAINED BY BUILDER PRIOR TO REMOVAL</p> <p>NOTE: BUILDER TO LIAISE WITH WESTERN POWER REGARDING OVERHEAD CONSUMER LINES, POWER DOMES AND DISTRIBUTION BOARDS. ALL PROVISIONS AND LOCATIONS TO WESTERN POWERS DISCRETION.</p> <p>NOTE: BUILDER TO LIAISE WITH WATER CORPORATION REGARDING WATER METERS. ALL PROVISIONS AND LOCATIONS TO WATER CORPORATION'S DISCRETION.</p>	<p>NOTE: STORMWATER CALCULATIONS AS BASED ON NEW ROOF AREA ONLY. PLUMBER TO ASSESS CAPACITY OF EXISTING DOWN PIPES AND SOAKWELLS. ANY ADDITIONAL DOWNPIPES & SOAKWELLS TO PLUMBERS DISCRETION. LOCATION OF DOWNPIPES & SOAKWELLS ARE INDICATIVE ONLY</p> <p>NOTE: EXISTING STRUCTURES HAVE BEEN DRAWN BASED ON THE INFORMATION AVAILABLE AT THE TIME. ALL EXISTING DIMENSIONS ARE TO BE CONFIRMED ON SITE BY THE BUILDER.</p> <p>DRAINAGE CALCULATIONS NEW AREA OF ROOF = 67.5 x 0.0125 = 0.84m³ No. OF NEW DOWN PIPES = 7 EACH DP SERVED VOLUME (ON AVG.) = 0.18m³</p> <table border="1"> <thead> <tr> <th>DIAMETER</th> <th>DEPTH</th> <th>VOLUME</th> <th>DP SERVED</th> <th>TOTAL VOLUME</th> </tr> </thead> <tbody> <tr> <td>1200</td> <td>1200</td> <td>1.36m³</td> <td>1</td> <td>1.23m³</td> </tr> </tbody> </table>	DIAMETER	DEPTH	VOLUME	DP SERVED	TOTAL VOLUME	1200	1200	1.36m ³	1	1.23m ³
DIAMETER	DEPTH	VOLUME	DP SERVED	TOTAL VOLUME							
1200	1200	1.36m ³	1	1.23m ³							



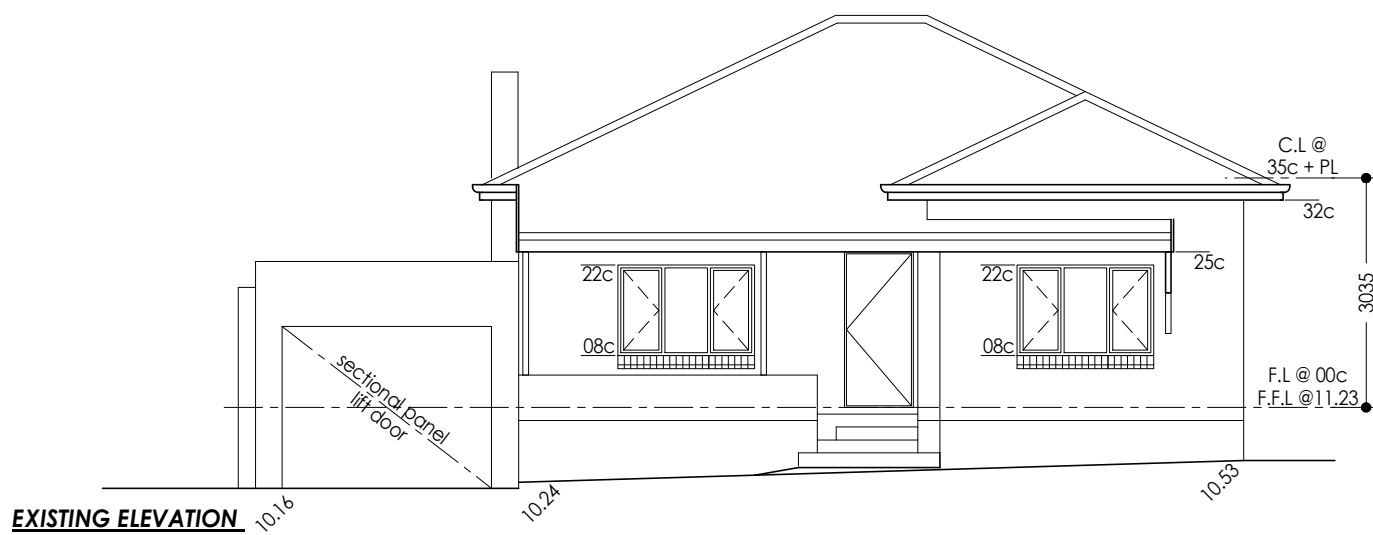
WILSON
LOT 1602 (#59) EGHAM ROAD
LATHLAIN
TOWN OF VICTORIA PARK

JOB NUMBER 2023083		DRAWING NAME PROPOSED SITE PLAN	
START DATE OCTOBER 2023	REVISION DESCRIPTION	IN.	DATE
SHEET 02 of 06	PLANNING	LJ	04.12.2023
SCALE 1:200	CLIENT REV	LJ	06.02.2024
REVISION C	PLANNING COMMENTS REVB	LJ	15.04.2024
	PLANNING COMMENTS REVC	LJ	12.06.2024

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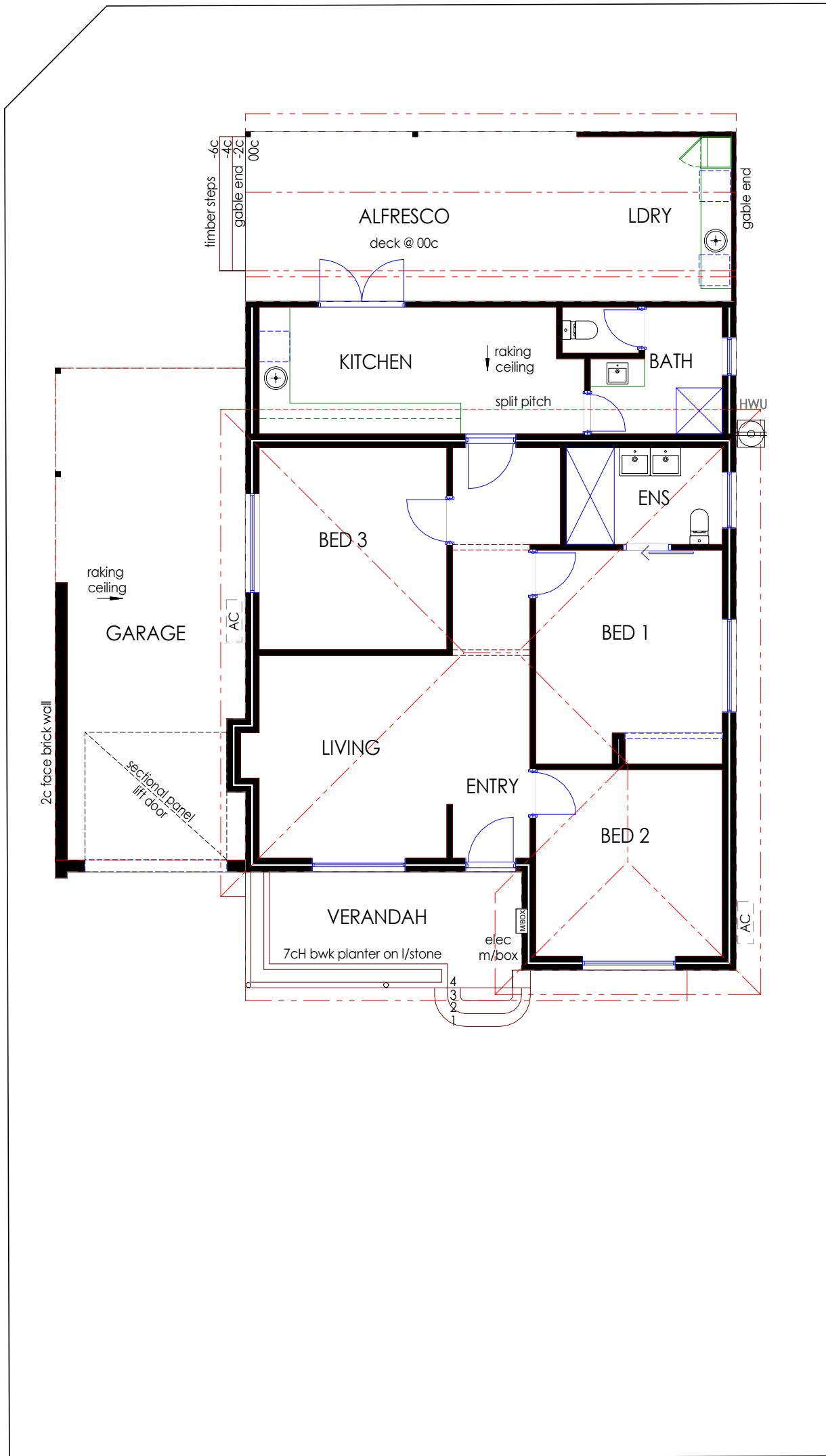
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EXISTING AREAS		PERIM.
GROUND FLOOR	115.63m ²	
GARAGE	35.99m ²	
VERANDAH	12.19m ²	
ALFRESCO	31.84m ²	
TOTAL FLOOR AREA	195.65m²	
OPEN SPACE CALCULATOR		
LOT AREA	456m ²	R20

TOWN OF VICTORIA PARK
Received: 18/06/2024



WILSON

LOT 1602 (#59) EGHAM ROAD

LATHLAIN

TOWN OF VICTORIA PARK

JOB NUMBER		DRAWING NAME		
2023083		EXISTING FLOOR PLAN		
START DATE	REVISION DESCRIPTION	IN.	DATE	
OCTOBER 2023	CONCEPT FINAL DESIGN	KS	15.11.2023	
	PLANNING	LJ	04.12.2023	
	CLIENT REVISION	LJ	04.12.2023	
	PLANNING COMMENTS REVB	LJ	15.04.2024	
	PLANNING COMMENTS REVC	LJ	12.06.2024	
SHEET	SCALE	REVISION		
03 of 06	1:100	A3		

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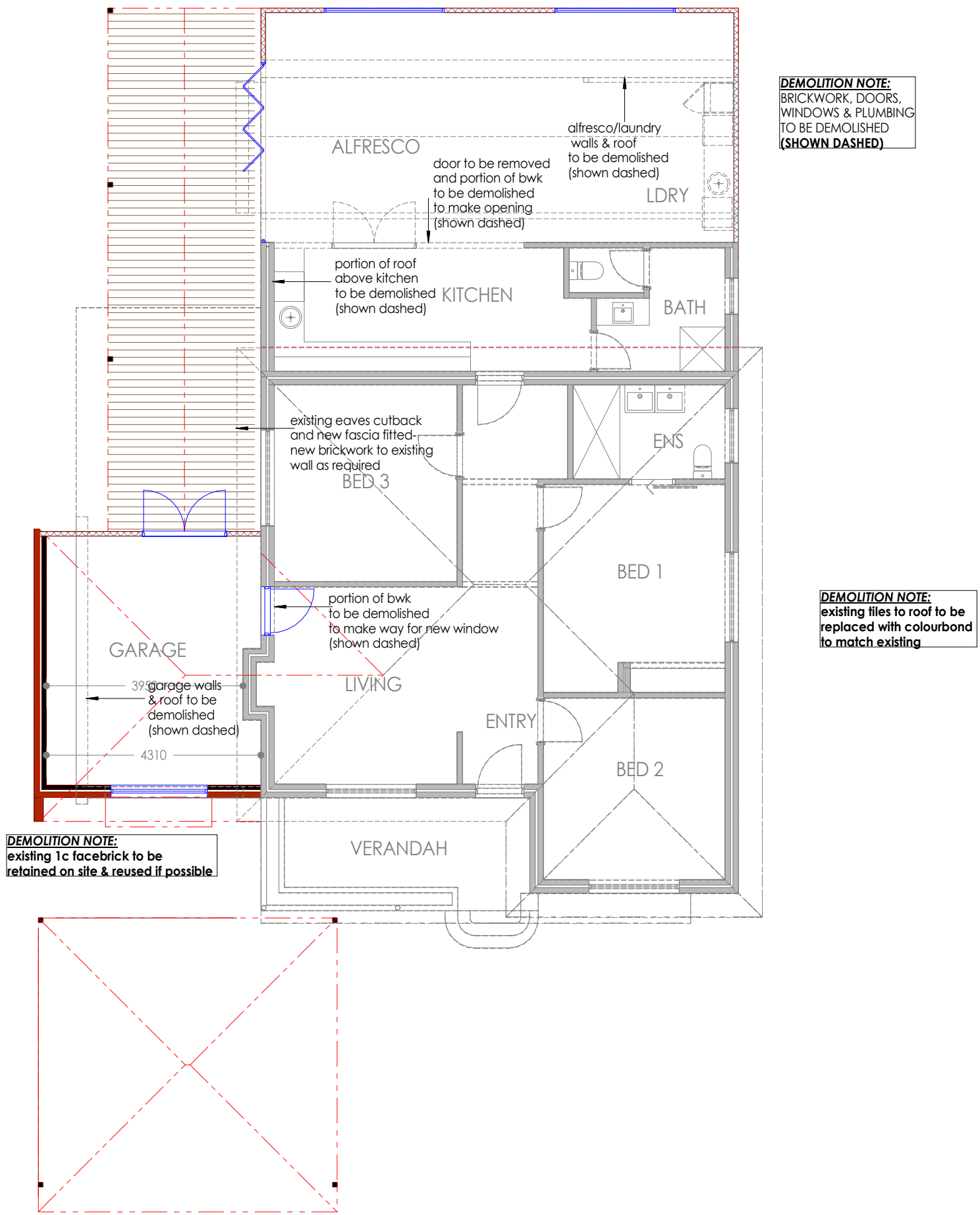
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DEMOLITION NOTE:
existing footings/ stumps and floor joists to be retained if possible
to be confirmed with site inspection



WILSON
LOT 1602 (#59) EGHAM ROAD
LATHLAIN
TOWN OF VICTORIA PARK

JOB NUMBER 2023083		DRAWING NAME DEMO PLAN	
START DATE OCTOBER 2023	REVISION DESCRIPTION	IN.	DATE
SHEET 04 of 06	CONCEPT FINAL DESIGN	KS	15.11.2023
SCALE 1:100	PLANNING	LJ	04.12.2023
	CLIENT REVISION	LJ	06.02.2024
	PLANNING COMMENTS REVB	LJ	15.04.2024
REVISION C	PLANNING COMMENTS REVC	LJ	12.06.2024

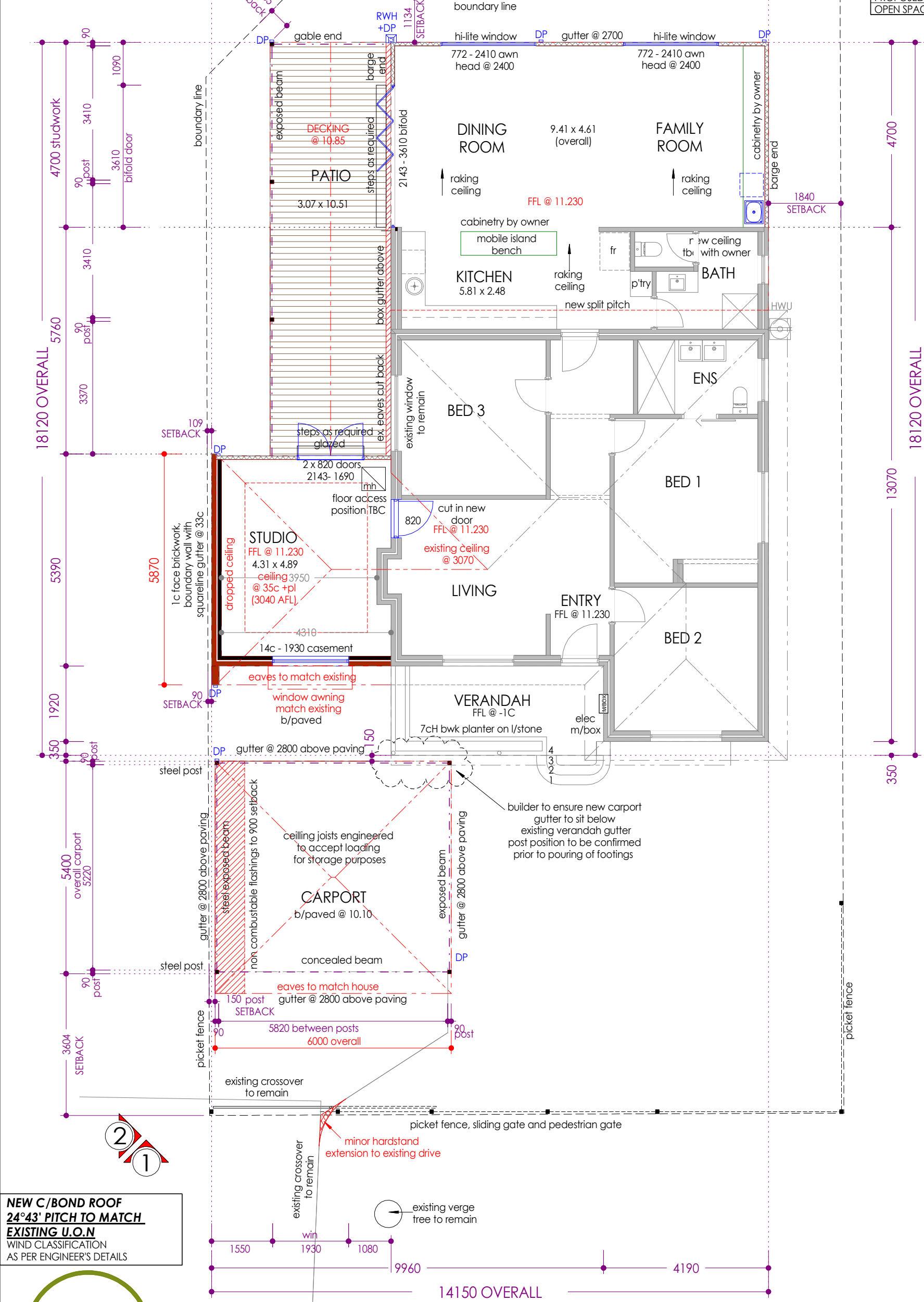
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**1c FACE BRICKWORK
BASED ON 230 x 110 x 76mm
90mm STUDWORK TO REAR
RENDER AND CLADDING
AS PER ELEVATIONS**
- USE ONE HALF BONDING METHOD
WITH STD CUTS WHERE APPLICABLE
AND SQUINTS TO 45° EXT CORNERS
- 1st COURSE OF BWK ABOVE FOOTING
& SLAB TO BE 76mm CORED BRICK

AREAS		PERIM.
HOUSE	184.625m ²	
CARPORT	29.72m ²	
PATIO	32.26m ²	
VERANDAH	12.31m ²	
TOTAL GROUND FLOOR AREA	258.915m²	
OPEN SPACE CALCULATOR		
LOT AREA	456m ²	R20
OPEN SPACE REQUIRED	228m ²	(50%)
PROPOSED SITE COVER	196.935m ²	(43.19%)
OPEN SPACE PROVIDED	259.065m²	(56.81%)



TOWN OF VICTORIA PARK
Received: 18/06/2024

**NEW C/BOND ROOF
24°43' PITCH TO MATCH
EXISTING U.O.N**
WIND CLASSIFICATION
AS PER ENGINEER'S DETAILS

- NOTE:** EXISTING STRUCTURES HAVE BEEN DRAWN BASED ON THE INFORMATION AVAILABLE AT THE TIME, ALL EXISTING DIMENSIONS ARE TO BE CONFIRMED ON SITE BY THE BUILDER.
- NOTE:** 250 CAVITY BWK GENERALLY 90mm STUDWORK TO REAR
- NOTE:** CEILING LEVELS @35c + PLATE UNLESS NOTED OTHERWISE
- NOTE:** LOCATION OF DOWNPIPES AND FLOOR WASTES ARE INDICATIVE ONLY & MAY BE CHANGED ON SITE TO PLUMBERS DISCRETION
- DENOTED STRUCTURAL COLUMN &/or WIND POSTS (REFER ENGS.)
- Ⓢ DENOTES SMOKE DETECTOR

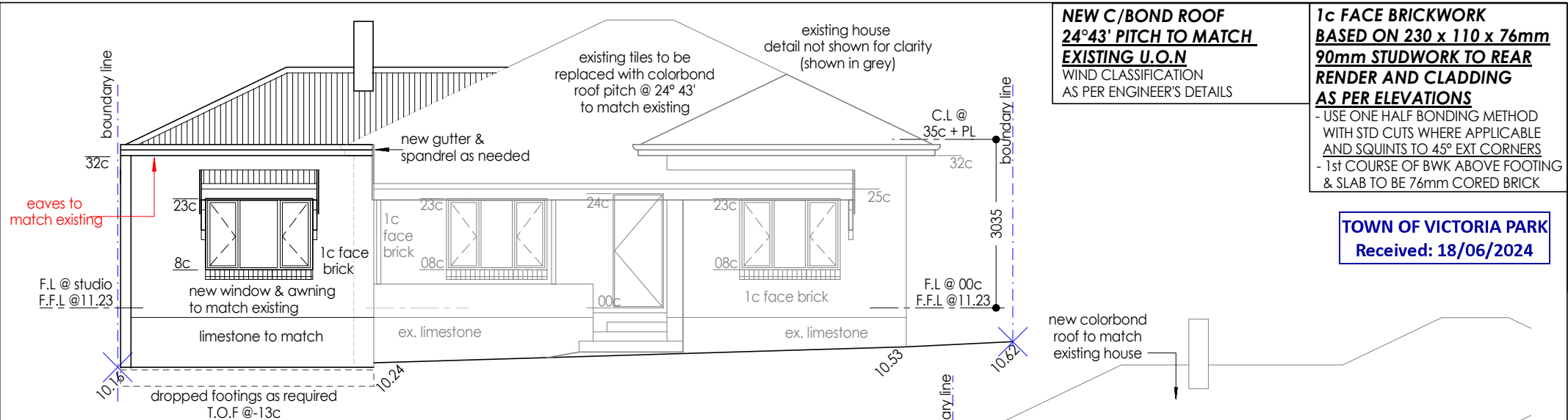


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LOT 1602 (#59) EGHAM ROAD
LATHLAIN
TOWN OF VICTORIA PARK

JOB NUMBER 2023083		DRAWING NAME GROUND FLOOR PLAN	
START DATE OCTOBER 2023	REVISION DESCRIPTION	IN.	DATE
SHEET 05 of 06	CONCEPT FINAL DESIGN	KS	15.11.2023
SCALE 1:100	PLANNING	LJ	04.12.2023
REVISION C	CLIENT REVISION	LJ	06.02.2024
	PLANNING COMMENTS REV B	LJ	15.04.2024
	PLANNING COMMENTS REV C	LJ	12.06.2024

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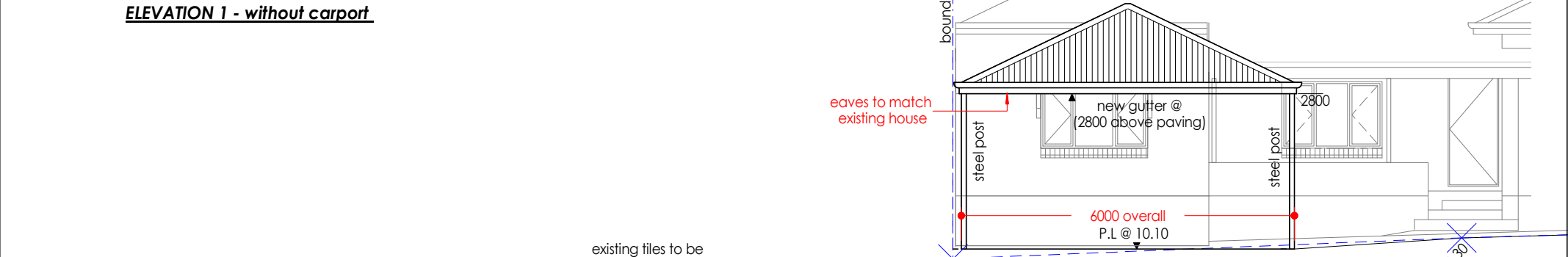


NEW C/BOND ROOF
24°43' PITCH TO MATCH
EXISTING U.O.N
 WIND CLASSIFICATION
 AS PER ENGINEER'S DETAILS

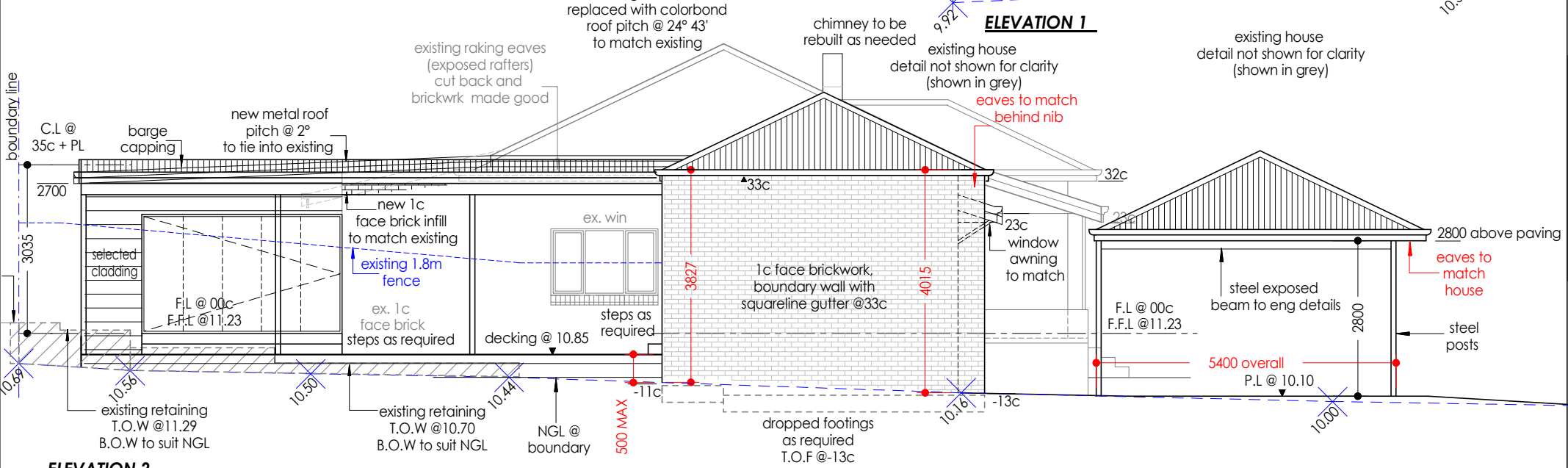
1c FACE BRICKWORK
BASED ON 230 x 110 x 76mm
90mm STUDWORK TO REAR
RENDER AND CLADDING
AS PER ELEVATIONS
 - USE ONE HALF BONDING METHOD
 WITH STD CUTS WHERE APPLICABLE
 AND SQUINTS TO 45° EXT CORNERS
 - 1st COURSE OF BWK ABOVE FOOTING
 & SLAB TO BE 76mm CORED BRICK

TOWN OF VICTORIA PARK
Received: 18/06/2024

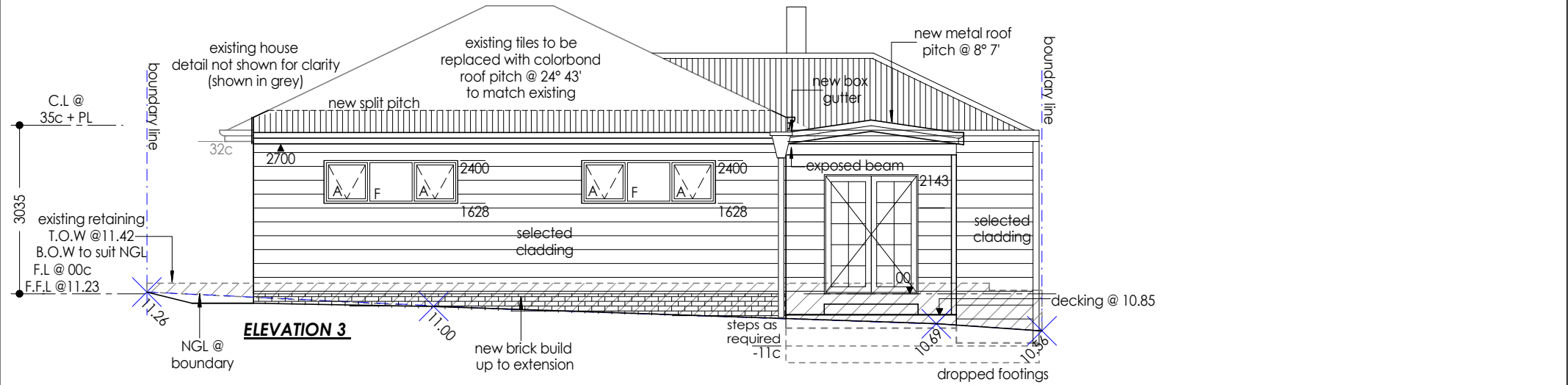
ELEVATION 1 - without carport



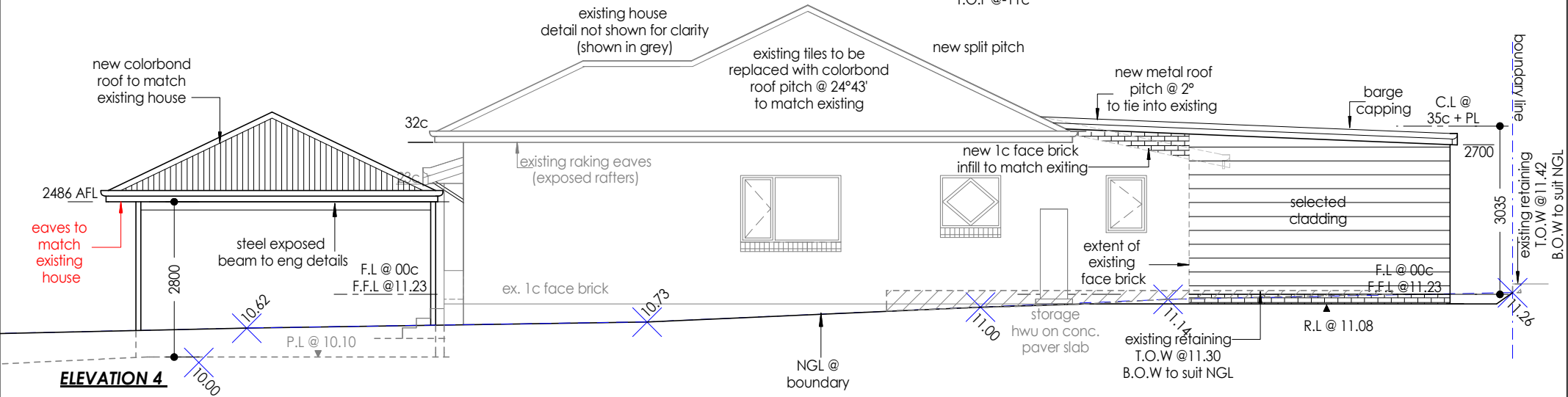
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4



WILSON
 LOT 1602 (#59) EGHAM ROAD
LATHLAIN
 TOWN OF VICTORIA PARK

JOB NUMBER 2023083		DRAWING NAME ELEVATIONS		KTR CREATIONS IMAGINE CREATE CONSTRUCT	
START DATE OCTOBER 2023	REVISION DESCRIPTION CONCEPT FINAL DESIGN	IN. KS	DATE 15.11.2023	CONSTRUCTION NOTE: All drawings to be reviewed and checked by the Builder, Client, Sub-Contractors or the like before commencement of any works. No responsibility will be accepted by KTR Creations if no correspondence was coordinated prior or during construction. COPYRIGHT: This plan shall remain the sole property of KTR Creations and must not be given, or resold and must not be reproduced or copied without the permission in writing by KTR Creations	
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SCALE 1:100	CLIENT REVISION	LJ	06.02.2024		
REVISION C	PLANNING COMMENTS REVB	LJ	15.04.2024		
	PLANNING COMMENTS REVC	LJ	12.06.2024	BUILDING DESIGN AND DRAFTING www.ktrcreations.com.au design@ktrcreations.com.au 9381 2106 1 Carbonate Road Wangara WA 6065	