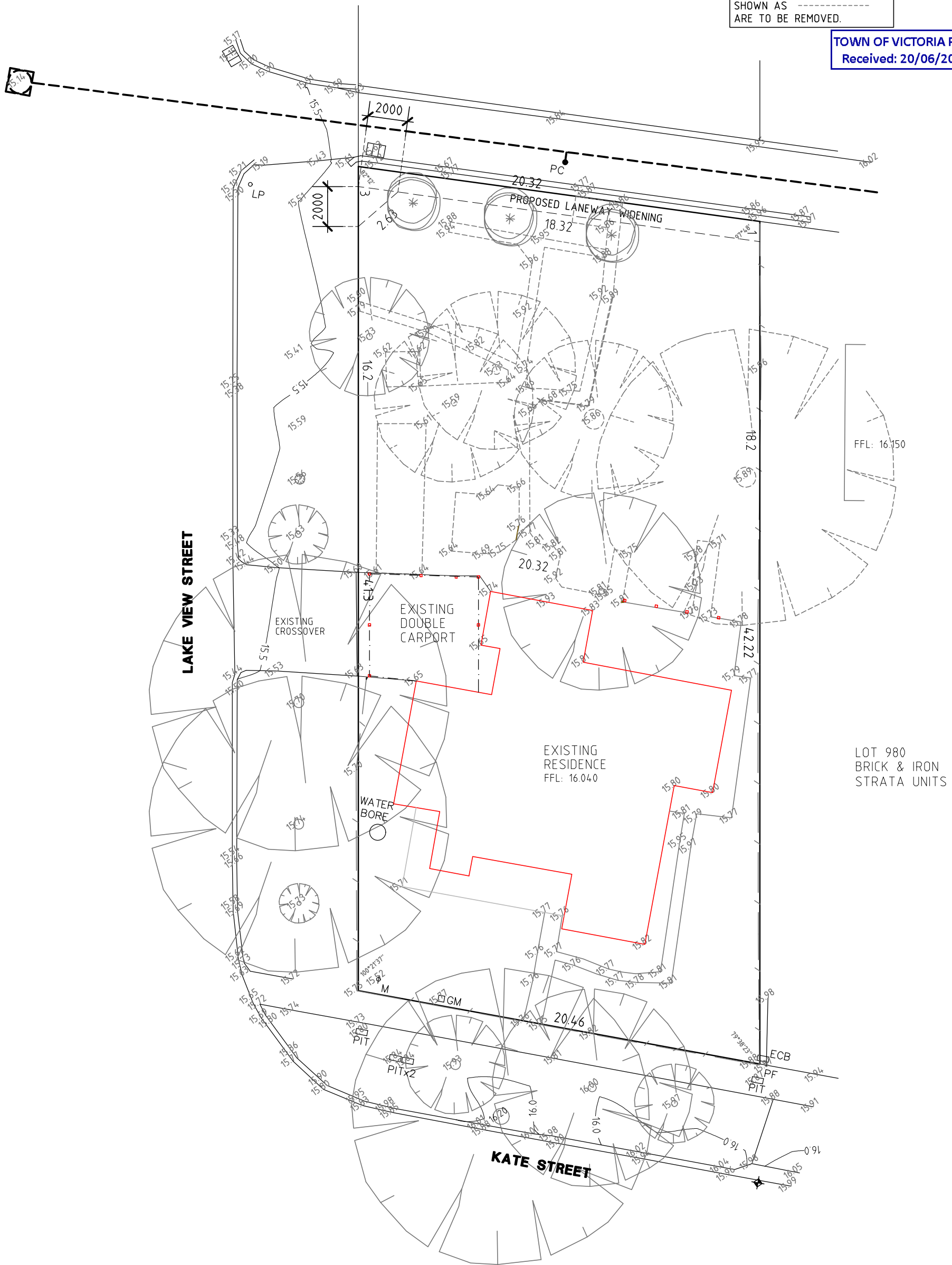


NOTE:
TREES, PAVING & STRUCTURES
SHOWN AS - - - - -
ARE TO BE REMOVED.

TOWN OF VICTORIA PARK
Received: 20/06/2024

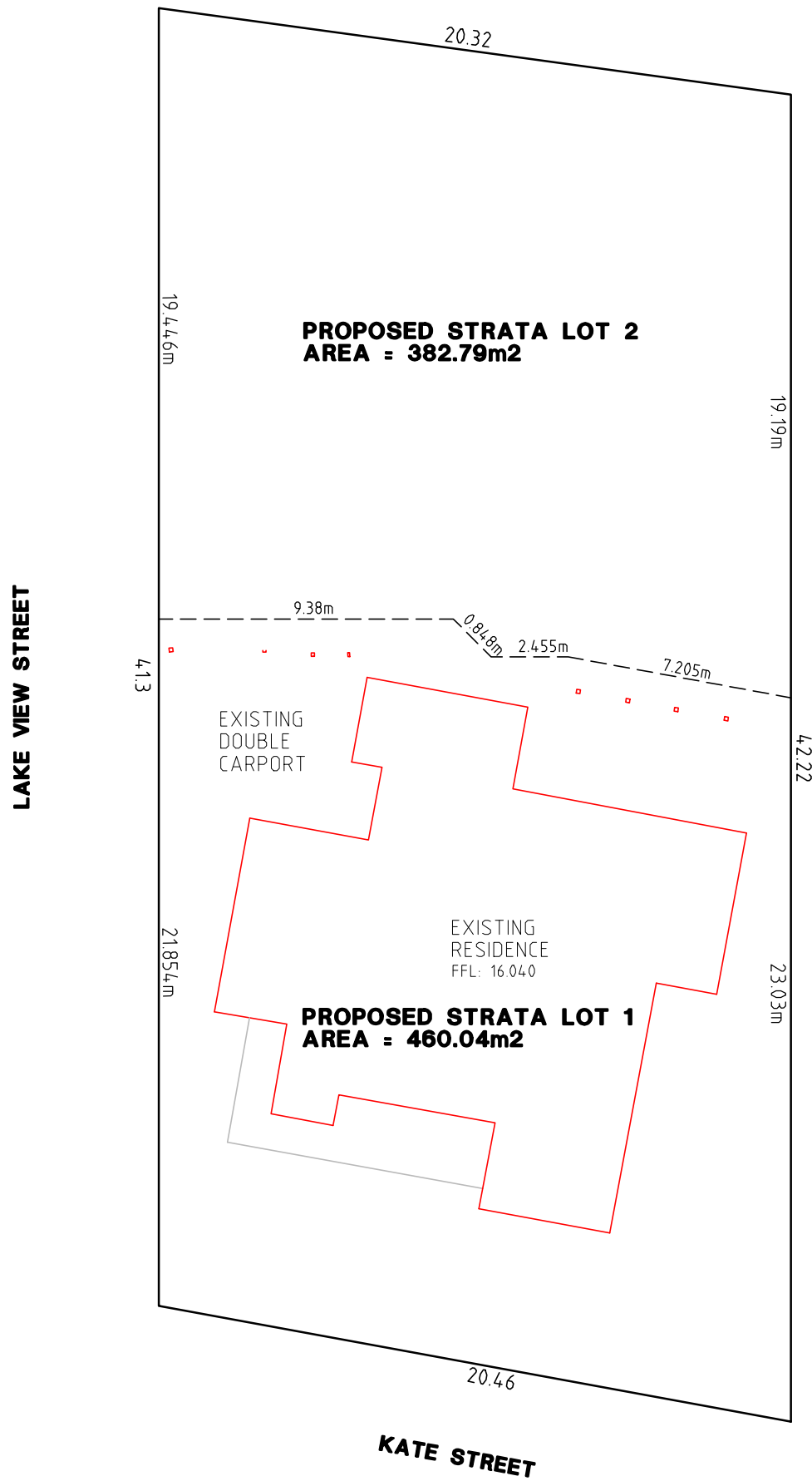


CONTOUR & FEATURE SURVEY

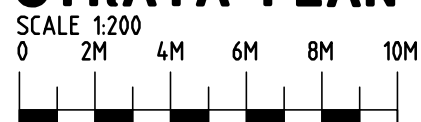
SCALE 1:200



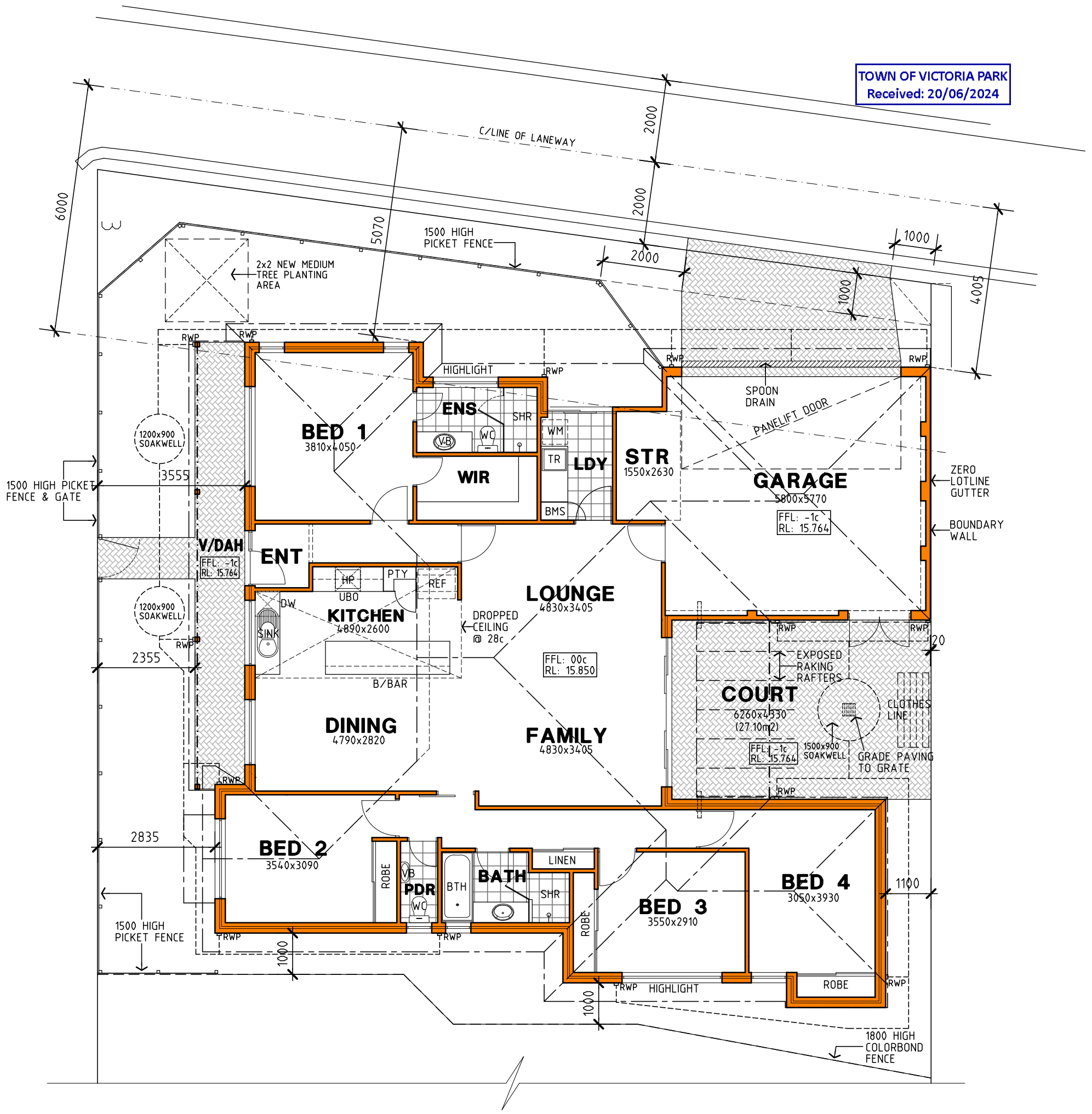
PROPOSED NEW GROUPED DWELLING LOT: 1089 (#2) KATE STREET EAST VICTORIA PARK CLIENT: RON PONTRE	DRAWN	PTK
	DATE	19/06/2024
	SCALE	AS SHOWN
	SHEET No	1 OF 6
	Job No.	DWG No.
	24-1398	S6-1
form + function building design + drafting consultants 16 FORBES STREET YORK WA 6302 MOB: 0413 614 558 A.B.N 18 092 710 837		NOTE: ALL DIMENSIONS, LEVELS, SETBACKS, HEIGHTS ETC ARE TO BE CHECKED ON SITE BEFORE WORK PROCEEDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DRAWING OFFICE AS SOON AS POSSIBLE IT IS THE BUILDER/DEVELOPER/OWNERS RESPONSIBILITY TO PROVIDE THIS OFFICE WITH ALL PLANNING/BUILDING LICENSE CONDITIONS PRIOR TO ISSUE OF FINAL DRAWINGS.
LIFE MEMBER OF DESIGN MATTERS AUSTRALIA	THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS. WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS.	



PROPOSED STRATA PLAN



PROPOSED NEW GROUPED DWELLING	DRAWN	PTK
	DATE	19/06/2024
	SCALE	AS SHOWN
	SHEET No	2 OF 6
LOT: 1089 (#2) KATE STREET EAST VICTORIA PARK	Job No.	DWG No.
CLIENT: RON PONTRE	24-1398	S6-2
form + function building design + drafting consultants 16 FORBES STREET YORK WA 6302 MOB: 0413 614 558 Email: phil@formfunction.com.au Web: building-design@formfunction.com.au A.B.N 18 092 710 837	NOTE: ALL DIMENSIONS, LEVELS, SETBACKS, HEIGHTS ETC ARE TO BE CHECKED ON SITE BEFORE WORK PROCEEDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DRAWING OFFICE AS SOON AS POSSIBLE.	
	IT IS THE BUILDER/DEVELOPER/OWNERS RESPONSIBILITY TO PROVIDE THIS OFFICE WITH ALL PLANNING/BUILDING LICENSE CONDITIONS PRIOR TO ISSUE OF FINAL DRAWINGS.	
LIFE MEMBER OF DESIGN MATTERS AUSTRALIA	THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS. WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS.	



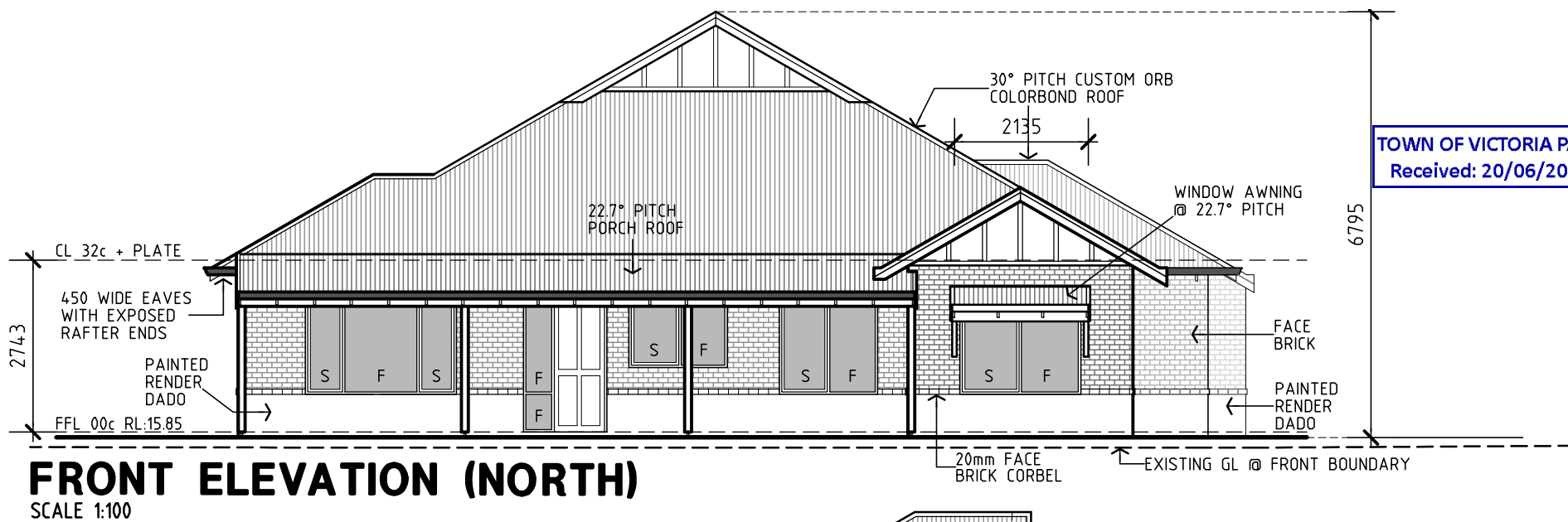
FLOOR PLAN
SCALE 1:100
0 1M 2M 3M 4M 5M

SCHEDULE OF FINISHES	
ROOF	CUSTOM ORB MANOR RED COLORBOND (TO MATCH EXISTING)
WALLS	MIDLAND BURNISHED RED FACE BRICK OVER DOVER WHITE PAINTED RENDER DADO (TO CLOSELY MATCH EXISTING)
WINDOWS	DOVER WHITE COLORBOND (TO MATCH EXISTING)
GUTTERS	DOVER WHITE COLORBOND (TO MATCH EXISTING)
RAFTERS/BARGES	DOVER WHITE (TO MATCH EXISTING)
POSTS	DOVER WHITE (TO MATCH EXISTING)
PAVING	MIDLAND PAVESTONE CLASSIC ANTIQUE BLEND (TO CLOSELY MATCH EXISTING)
GARAGE DOOR	DOVER WHITE COLORBOND
FRONT FENCING	DOVER WHITE

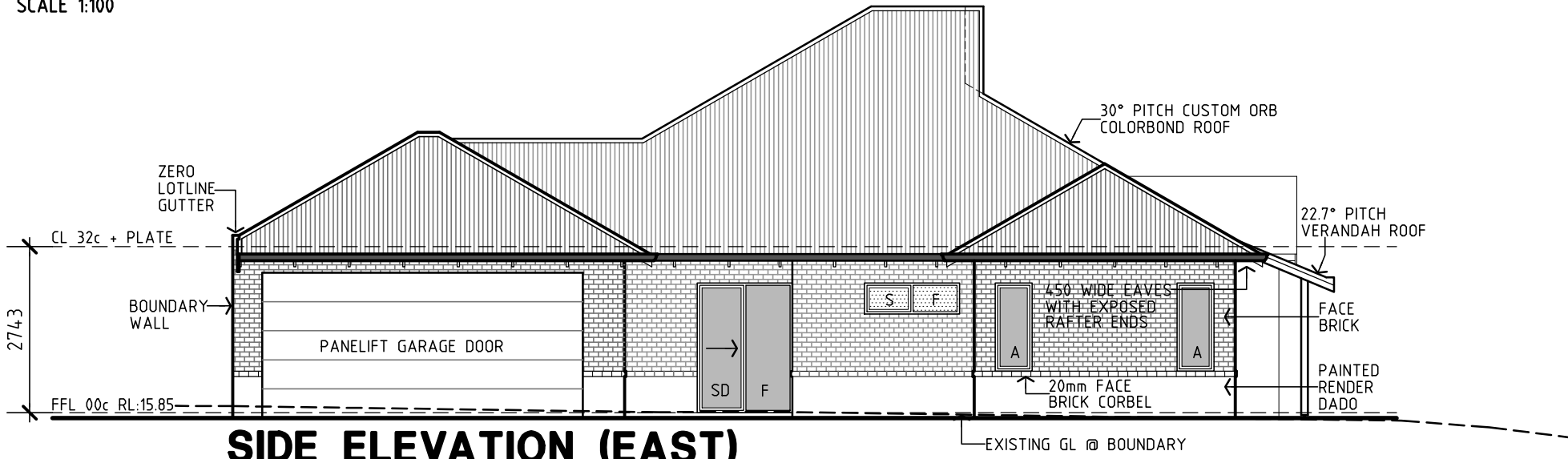
AREAS:	
HOUSE (STRATA LOT 2)	165.92m ²
GARAGE/STORE	42.38m ²
VERANDAH	12.87m ²
PROPOSED STRATA SITE AREA	382.79m ²
PERMITTED SITE COVER (55%)	210.53m ²
ACTUAL SITE COVER (54.42%)	208.30m ²
EXISTING HOUSE (STRATA LOT 1)	
TOTAL SITE COVER	205.75m ²
PROPOSED STRATA SITE AREA	460.04m ²
PERMITTED SITE COVER (55%)	253.02m ²
ACTUAL SITE COVER (44.72%)	205.75m ²

STORMWATER:	
CATCHMENT AREA (INCLUDING DRIVE & C/YARD PAVING)	279.8m ²
STORAGE CAPACITY REQUIRED	3.497m ³
STORAGE CAPACITY PROVIDED	3.64m ³
CAPACITY CALCULATIONS BASED ON TOWN OF VICTORIA PARKS (ONSITE STORMWATER DRAINAGE REQUIREMENTS SHEET)	

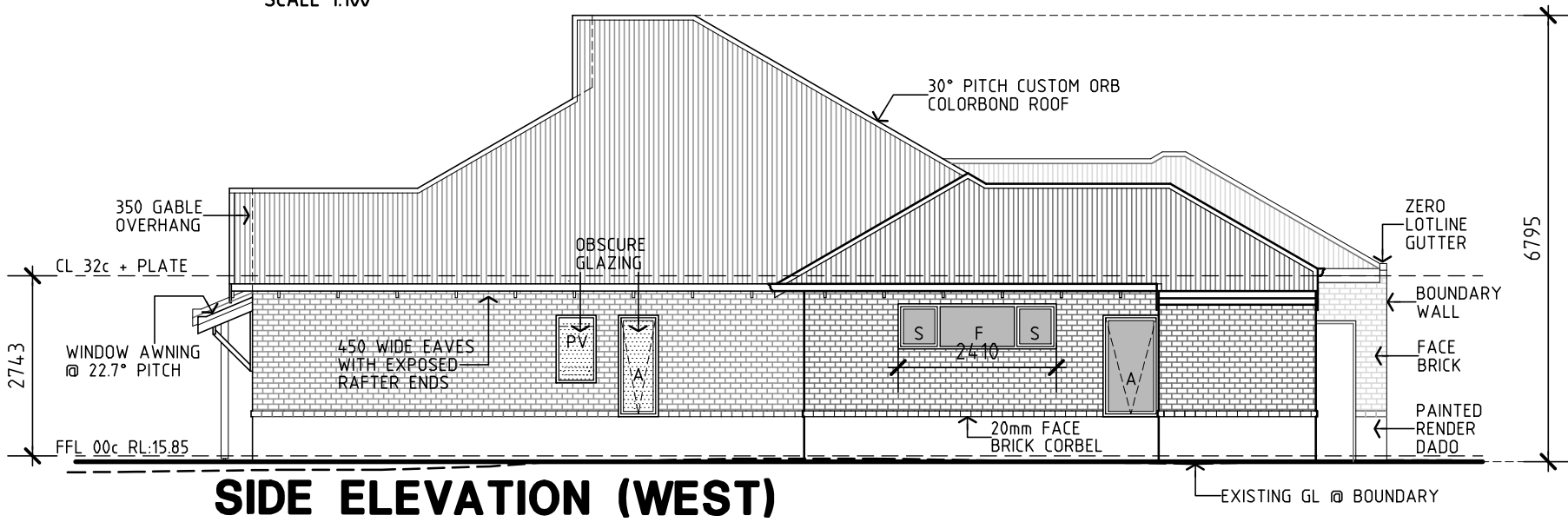
PROPOSED NEW GROUPED DWELLING	
LOT: 1089 (#2) KATE STREET EAST VICTORIA PARK	DRAWN PTK DATE 19/06/2024 SCALE AS SHOWN SHEET No 4 OF 6
CLIENT: RON PONTRE	Job No. DWG No. 24-1398 S6-4
<p>form + function building design + drafting consultants 16 FORBES STREET YORK WA 6302 MOB: 0413 614 558 Email: phil@formfunction.com.au Web: building-design@formfunction.com.au A.B.N 18 092 710 837</p>	
LIFE MEMBER OF DESIGN MATTERS AUSTRALIA	<p>NOTE: ALL DIMENSIONS, LEVELS, SETBACKS, HEIGHTS ETC ARE TO BE CHECKED ON SITE BEFORE WORK PROCEEDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DRAWING OFFICE AS SOON AS POSSIBLE.</p> <p>IT IS THE BUILDER/DEVELOPER/OWNERS RESPONSIBILITY TO PROVIDE THIS OFFICE WITH ALL PLANNING/BUILDING LICENSE CONDITIONS PRIOR TO ISSUE OF FINAL DRAWINGS.</p> <p>THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS. WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM FORM + FUNCTION BUILDING DESIGN + DRAFTING CONSULTANTS.</p>



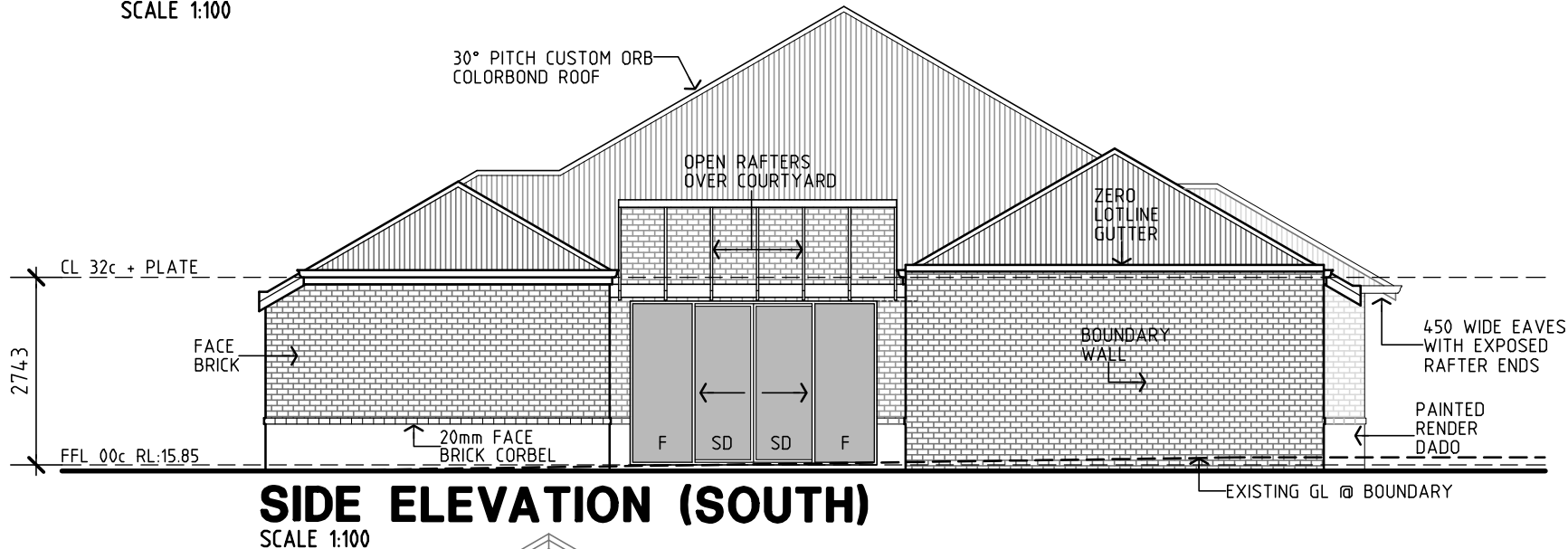
FRONT ELEVATION (NORTH)
SCALE 1:100



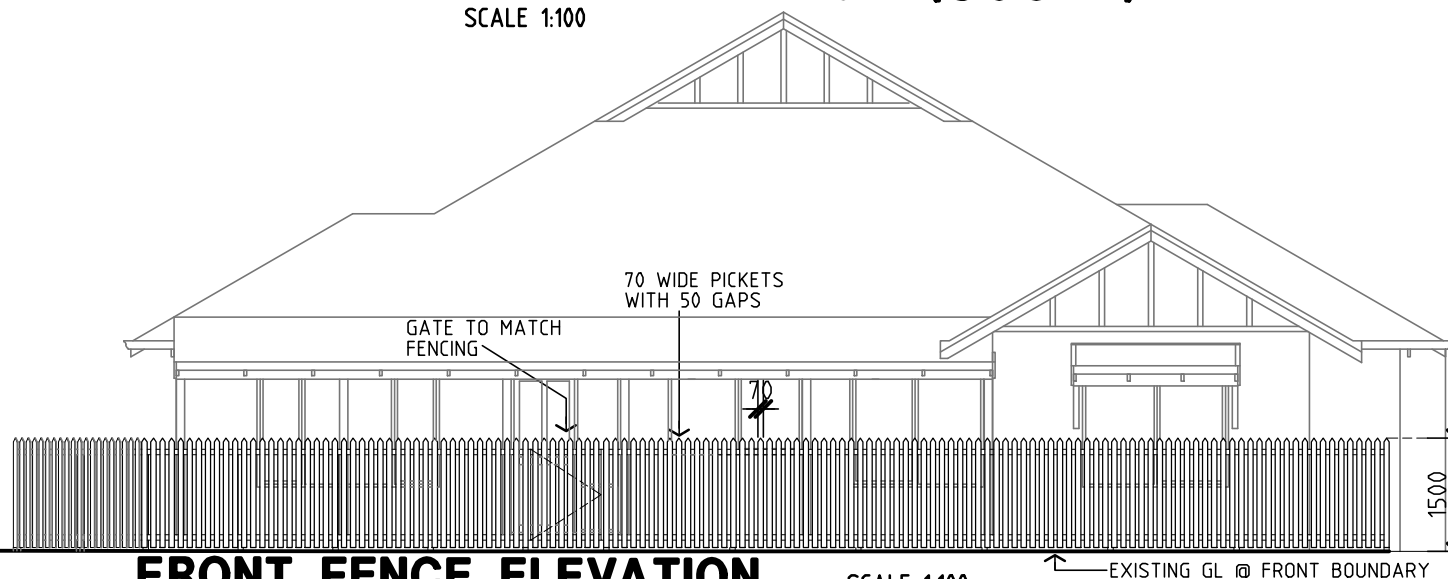
SIDE ELEVATION (EAST)
SCALE 1:100



SIDE ELEVATION (WEST)
SCALE 1:100



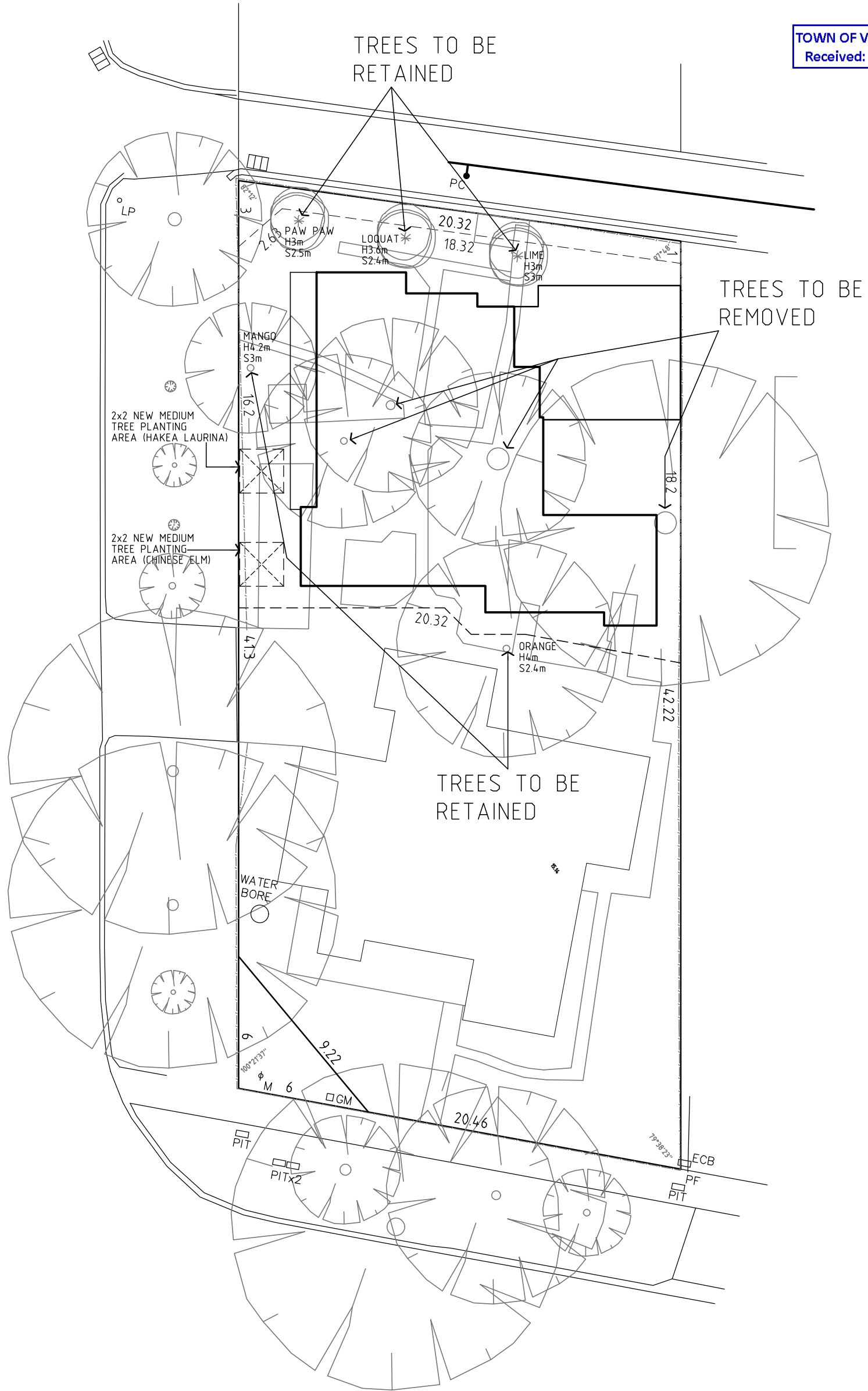
SIDE ELEVATION (SOUTH)
SCALE 1:100



FRONT FENCE ELEVATION
(SAME FOR FENCE TO RIGHT OF WAY)

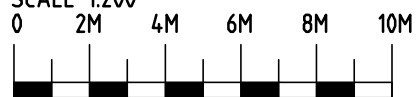
SCALE 1:100

PROPOSED NEW GROUPED DWELLING		DRAWN	PTK
LOT: 1089 (#2) KATE STREET EAST VICTORIA PARK		DATE	19/06/2024
CLIENT: RON PONTRE		SCALE	AS SHOWN
		SHEET No	5 OF 6
		Job No.	24-1398
		DWG No.	S6-5
form + function building design + drafting consultants 16 FORBES STREET YORK WA 6302 MOB: 0413 614 558 Email: phil@formfunction.com.au Web: building-design@formfunction.com.au A.B.N 18 092 710 037		NOTE: ALL DIMENSIONS, LEVELS, SETBACKS, HEIGHTS ETC ARE TO BE CHECKED ON SITE BEFORE WORK PROCEEDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DRAWING OFFICE AS SOON AS POSSIBLE. IT IS THE BUILDER/DEVELOPER/OWNER'S RESPONSIBILITY TO PROVIDE THIS OFFICE WITH ALL PLANNING/BUILDING LICENSE CONDITIONS PRIOR TO ISSUE OF FINAL DRAWINGS.	
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RETAINED/REMOVED TREE PLAN

SCALE 1:200



PROPOSED NEW GROUPED DWELLING LOT: 1089 (#2) KATE STREET EAST VICTORIA PARK CLIENT: RON PONTRE	DRAWN	PTK
	DATE	19/06/2024
	SCALE	AS SHOWN
	SHEET No	6 OF 6
	Job No.	DWG No.
	24-1398	W6-6
form + function building design + drafting consultants 16 FORBES STREET YORK WA 6302 MOB: 0413 614 558 Email: pjh@formfunction.com.au Web: building-design@formfunction.com.au A.B.N 18 092 710 837		NOTE: ALL DIMENSIONS, LEVELS, SETBACKS, HEIGHTS ETC ARE TO BE CHECKED ON SITE BEFORE WORK PROCEEDS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DRAWING OFFICE AS SOON AS POSSIBLE. IT IS THE BUILDER/DEVELOPER/OWNERS RESPONSIBILITY TO PROVIDE THIS OFFICE WITH ALL PLANNING/BUILDING LICENSE CONDITIONS PRIOR TO ISSUE OF FINAL DRAWINGS.
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Primary Street Setback

The attached amended plans show increased front setback to Kate Street with a minimum setback of 2.835m to Bed 2, 3.555m to the Bed 1, Entry, Kitchen & Dining wall and 2.355m to the Verandah. Given the bulk of the main house wall is at 3.555m we ask that Council accept these setbacks.\

R.O.W. Setback

The garage wall closest point is now setback 4.005m from the ROW centreline. The closes point of the house at the corner of Bed 1 is at 5.07m with the balance of the wall slightly within or beyond the 6.0m setback. I have also added 2 major opening sized windows to the side of Bed 1. We believe this provides adequate open space facing the ROW and ask that Council approve these setbacks.