

For the attention of Planning Department – Town of Victoria Park

Proposed Patio at #246F Rutland Av, Carlisle

Dear Sirs/Madam,

With regards to proposals at the above-mentioned property, please find below additional information outlining variation to the R-codes sought after as follows:

Variation to Clause 5.1.3 deemed to comply.

Seeking a reduced setback of 500mm from the proposed patio to the northeast boundary.

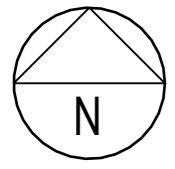
P3.2 Design Principles - Buildings built up to boundaries where is.

- The patio proposed makes more effective use of the Outdoor Living Area and it will protect the owners from the sun due to its insulation properties.
- The proposed patio is an open structure, therefore not adding any building bulk impact on adjoining properties.
- The roof covering is VDek roof sheets in paperbark with two skylights that will ensure the direct sun to major openings to habitable rooms which is also provided by other existing openings in the property, it will also reduce the heat that owners receive in summer.
- The proposed patio will not restrict the natural light to the outdoor living areas and habitable rooms of the adjoining properties.
- An existing fence of 1.80m height will provide adequate privacy screening to the neighbouring property.
- Does not have any adverse impact on the amenity of the adjoining property.
- Our client has requested the city to please advertise to any affected neighbours accordingly.

If you need any further information or have any queries, please contact us.

Yours sincerely,

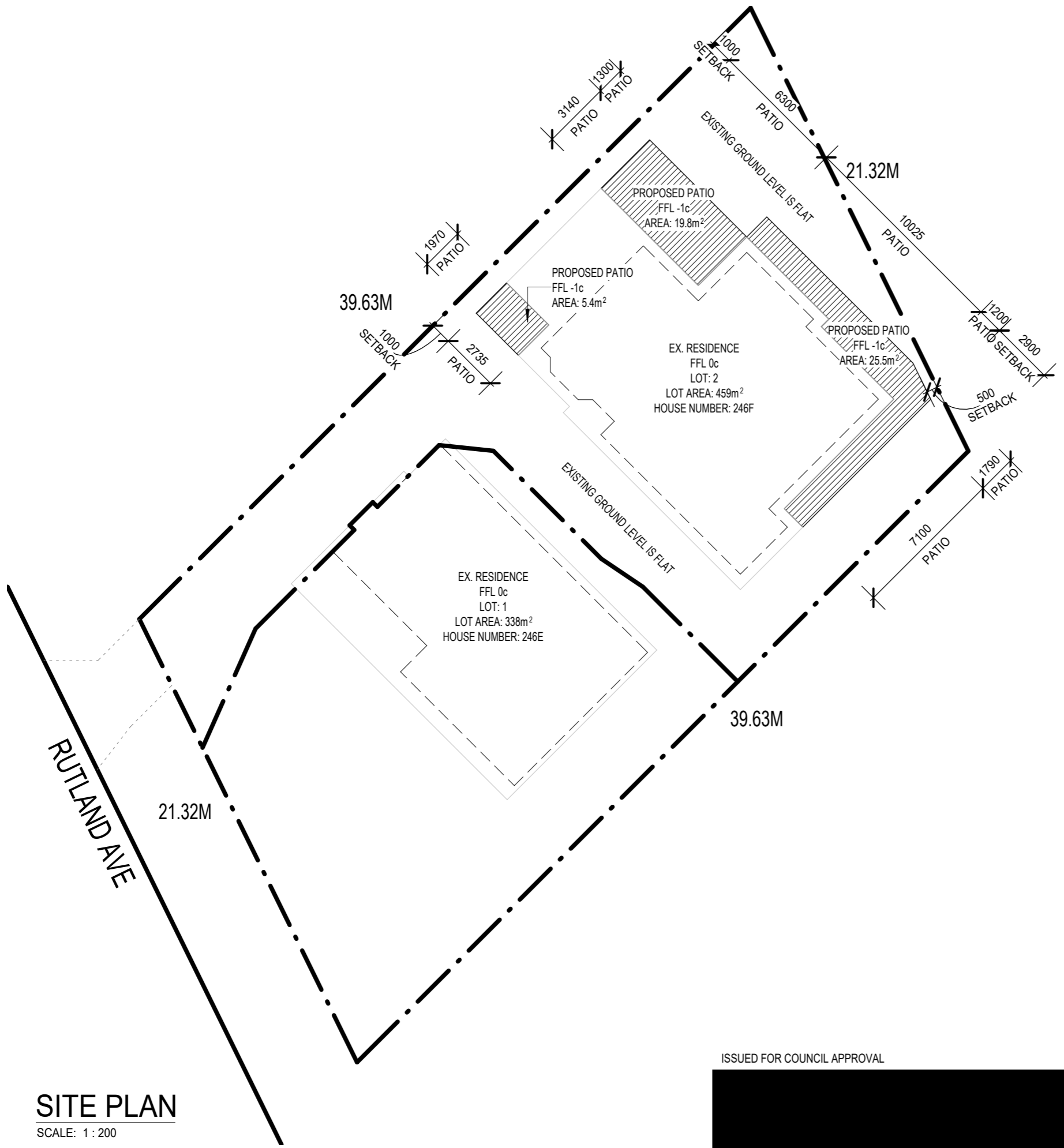




- GENERAL CONSTRUCTION NOTES:**
1. ALL CONSTRUCTION TO CONFORM TO B.C.A AND AUSTRALIAN STANDARDS AND IN ACCORDANCE WITH RELEVANT SERVICES AND AUTHORITY REGULATIONS.
 2. ALL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS. ALL DIMENSIONS ARE TO BE CONFIRMED BY BUILDER ON SITE. REFER TO WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED.
 3. ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.
 4. REFER TO ENGINEERS DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON ALL STRUCTURAL COMPONENTS.
 5. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684. 2010 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION).

- PLUMBING NOTES**
6. ROOFING CONTRACTOR AND PLUMBER TO ENSURE THAT THE NUMBER OF DOWNPIPES SHOWN ON PLAN IS ADEQUATE AND LOCATED IN THE OPTIMUM POSITIONS.

- SITE NOTE**
7. DO NOT SCALE DIMENSIONS OFF PLAN. FIGURED DIMENSIONS TO BE USED AT ALL TIMES.



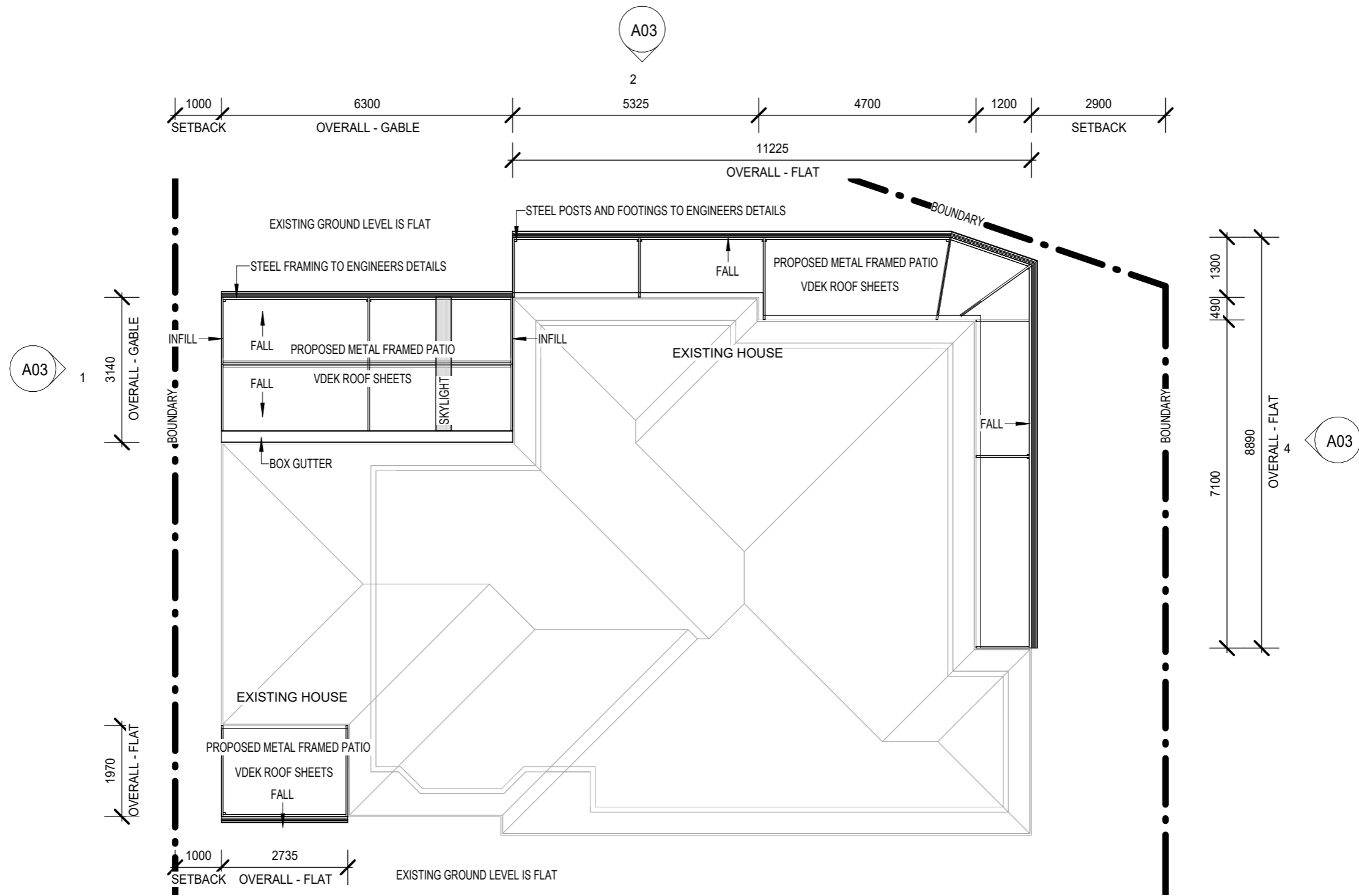
SITE PLAN

SCALE: 1 : 200

ISSUED FOR COUNCIL APPROVAL

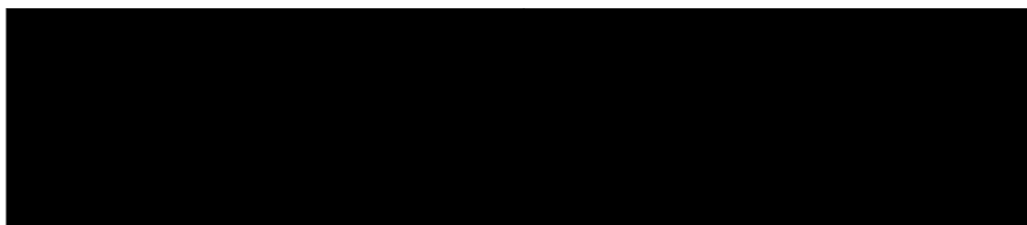
	DRAWN	DATE	SCALE
	JB	6/05/2024	AS NOTED @ A3
COUNCIL			
TOWN OF VICTORIA PARK			
CONTRACT No.	DRAWING No.		
	A01		

REVISION LIST				
REV	DATE	DESCRIPTION	SHEET	NO.
B	6/05/2024	REVB	SITE PLAN	A01
B	6/05/2024	REVB	FLOOR PLAN	A02
B	6/05/2024	REVB	ELEVATIONS	A03

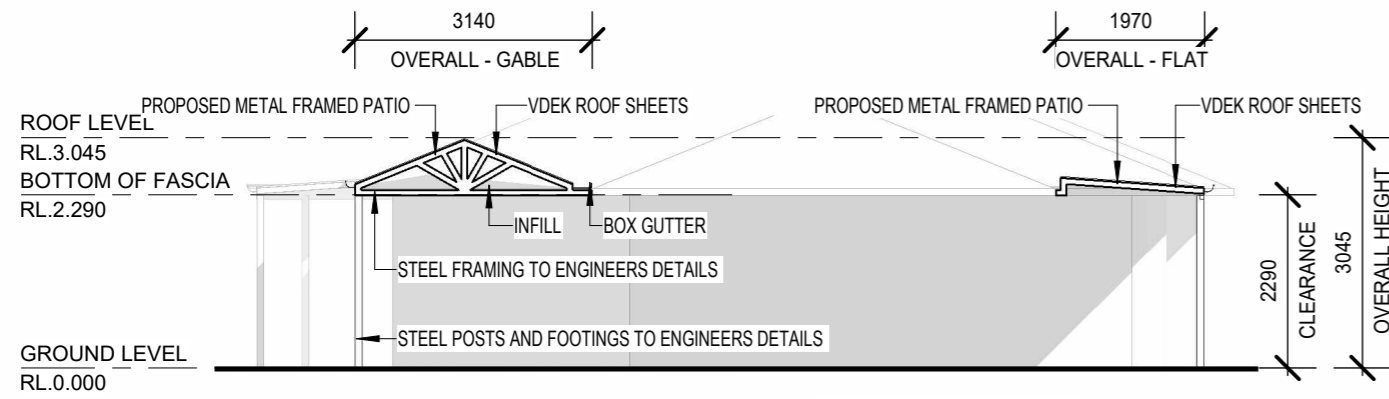


FLOOR PLAN
SCALE: 1 : 100

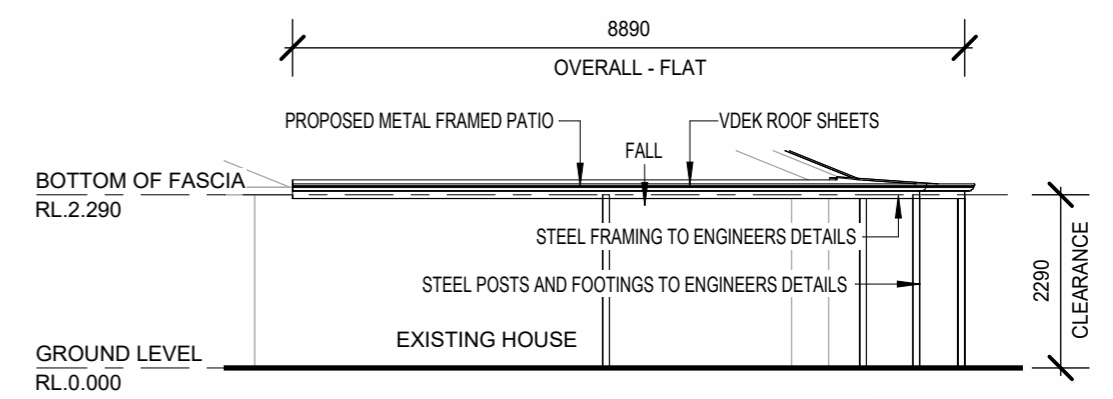
ISSUED FOR COUNCIL APPROVAL



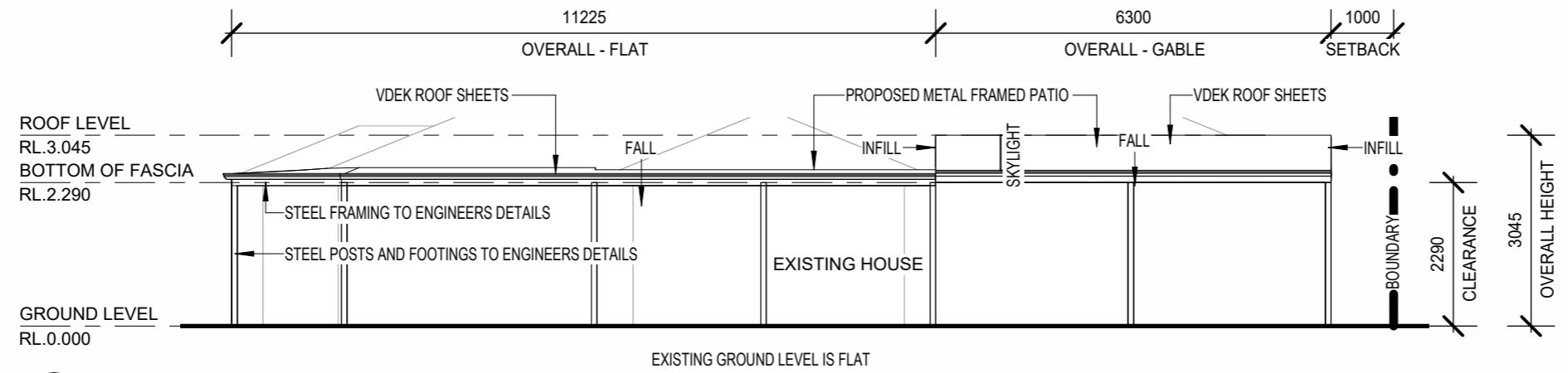
DRAWN	DATE	SCALE
JB	6/05/2024	AS NOTED @ A3
COUNCIL		
TOWN OF VICTORIA PARK		
CONTRACT No.	DRAWING No.	
	A02	



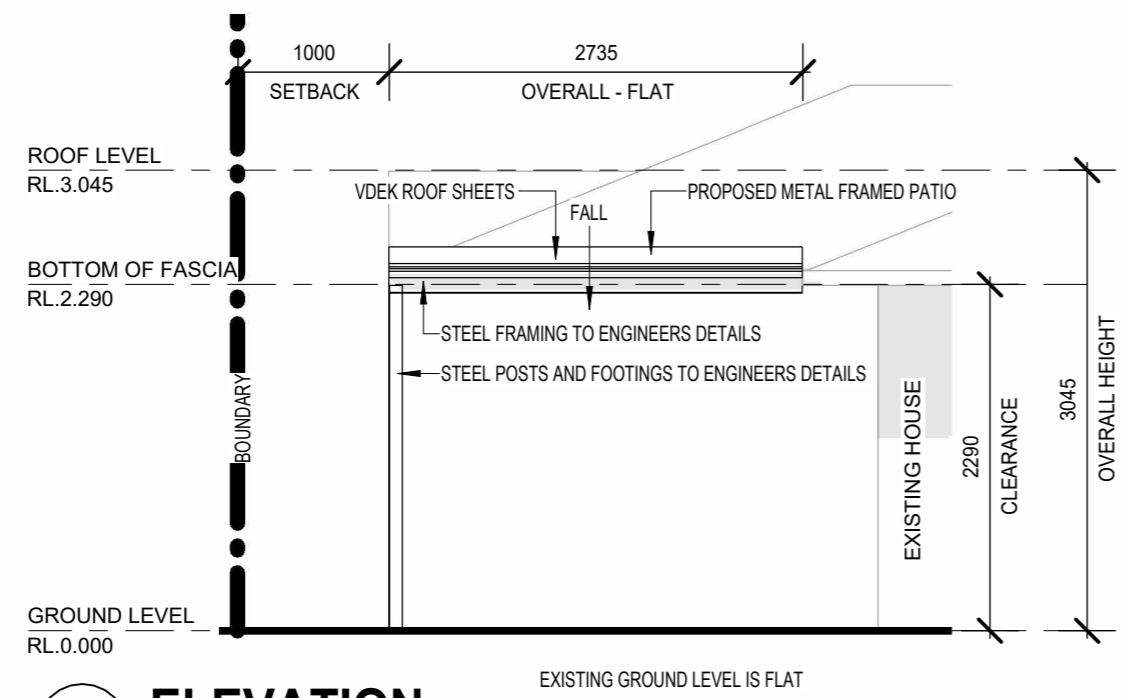
1
A02 **ELEVATION**
SCALE: 1 : 100



4
A02 **ELEVATION**
SCALE: 1 : 100



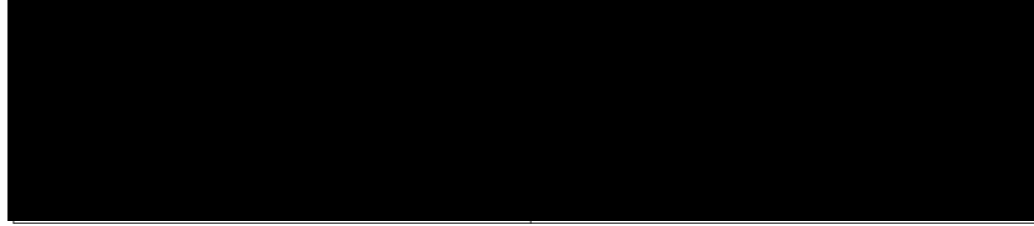
2
A02 **ELEVATION**
SCALE: 1 : 100



3
A02 **ELEVATION**
SCALE: 1 : 50

FRAMEWORK	STEEL	PAPERBARK
POSTS	STEEL	PAPERBARK
GUTTERS	STEEL	JASPER
DOWNPIPES	STEEL	PAPERBARK
ROOF SHEETS	STEEL	PAPERBARK
INFILL	TWINWALL	OPAL
SKYLIGHTS	VDEK	OPAL

ISSUED FOR COUNCIL APPROVAL



DRAWN	DATE	SCALE
JB	6/05/2024	AS NOTED @ A3
COUNCIL		
TOWN OF VICTORIA PARK		
CONTRACT No.	DRAWING No.	
[REDACTED]	A03	

Colours & Materials Schedule

PROPERTY	Date: 30/04/2024	Street No.: 246f
	Street Name: RUTLAND AV	
	Suburb: CARLISLE	Post Code: 6101

Item	Colour	Material / Profile	Make
Roofing			
Roof cover	PAPERBARK	VDEK	STEEL
Fascias / rafters	PAPERBARK	STEEL	STEEL
Gutters	JASPER	STEEL	STEEL
Exterior Walls & Columns / Piers			
Face brick	N/A		
Render	N/A		
Columns / piers	PAPERBARK	STEEL	STEEL
Weatherboards (if applicable)			
Paving / Driveway			
Main area			
Border			
Front Fence			
Piers			
Fence infill			
Other			
Garage door			
Window frames*			

**Further information may be required depending on the location of the property. If an item is not applicable, specify 'N/A' or leave blank (see next page for example).*