

Nvarchi Group Pty Ltd
Wembley, WA 6014



TOWN OF VICTORIA PARK
Received: 09/07/2024

09 July 2024

Town of Victoria Park

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By email:



APPLICANT JUSTIFICATION

TOWN OF VICTORIA PARK
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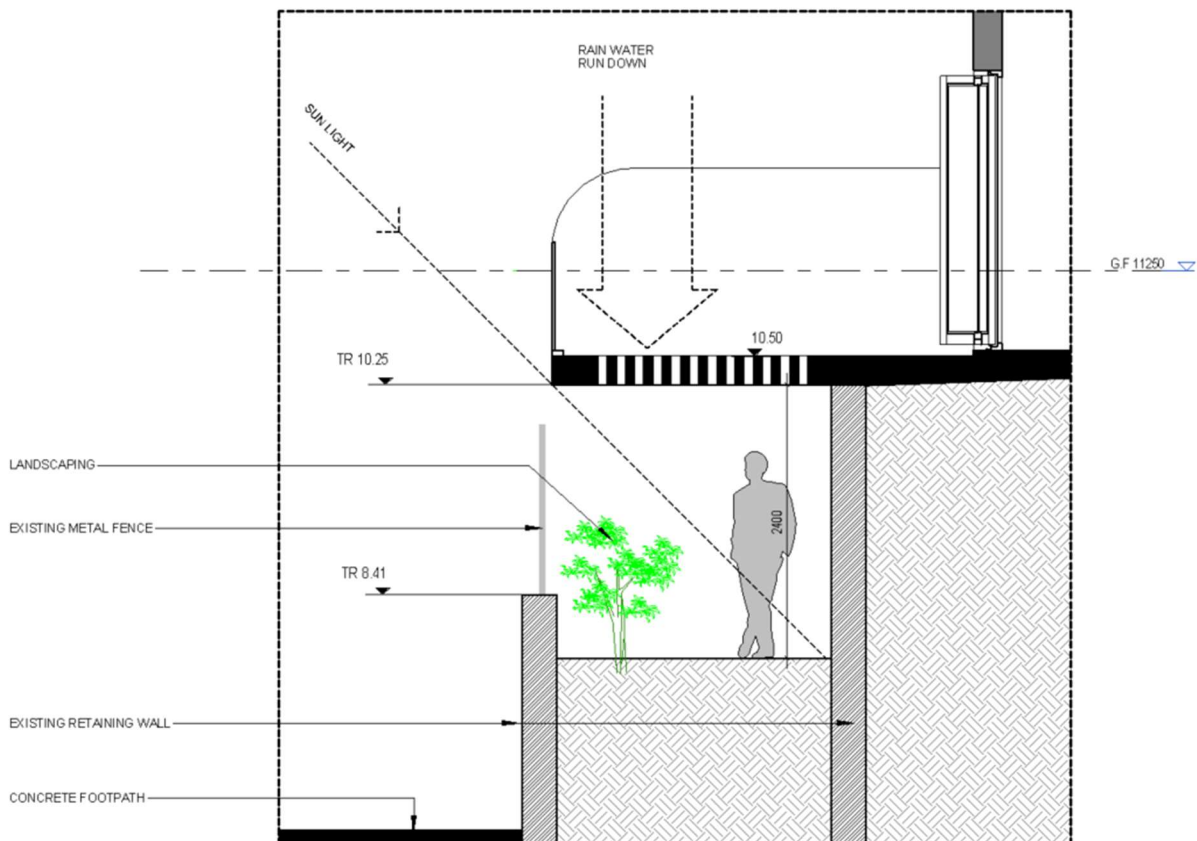
1. Street Setback (Victoria Park Dr)

Issue: The proposed ground level is setback 0.2m to Victoria Park Drive in lieu of a minimum 1.5m, as identified at provision 6 of The Peninsula, Burswood - Local Development Plan No.1.

Justification: The cantilever structure is necessitated by the significant difference in ground levels and the presence of two large retaining walls. The rear courtyard space would be wasted without this design. By cantilevering from the top of the retaining wall, we create useful space that functions as a backyard rather than a building extension.

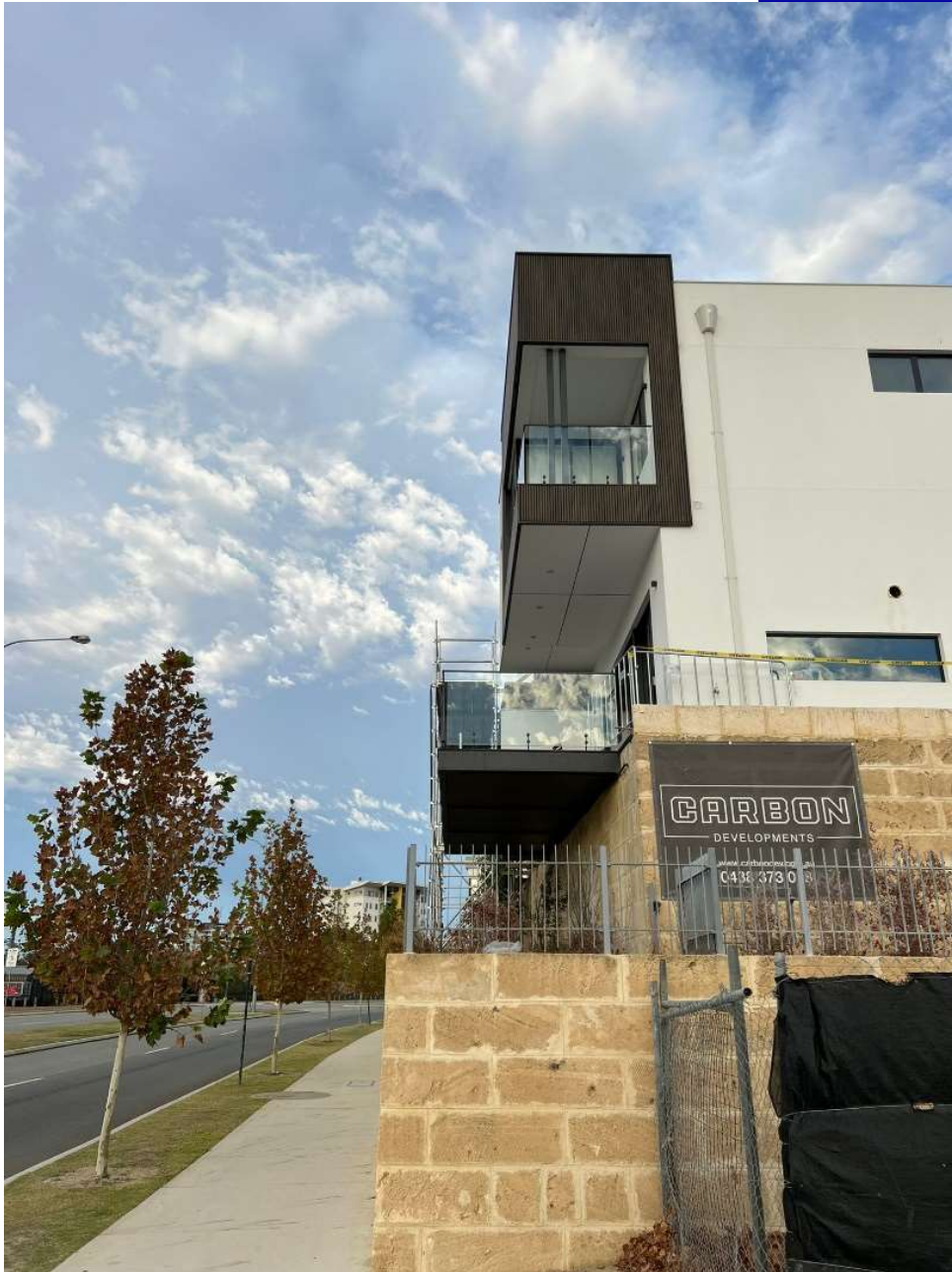
- **Practical Use:** The cantilevered area is used as a backyard, not as a building extension, which makes it functional and enhances the overall use of the space.
- **Removability:** The structure, made from steel frames and timber decking, is removable.
- **Environmental Integration:** The timber decking allows for natural landscaping, as it receives rainwater and sunlight through the gaps, maintaining the natural ecosystem.
- **Precedent:** Similar designs can be found on neighboring properties at Lot 169 and Lot 170, which have set a precedent for such structures.

This approach not only maximizes the utility of the space but also adheres to the aesthetic and environmental considerations of the area.



1. Countinue:

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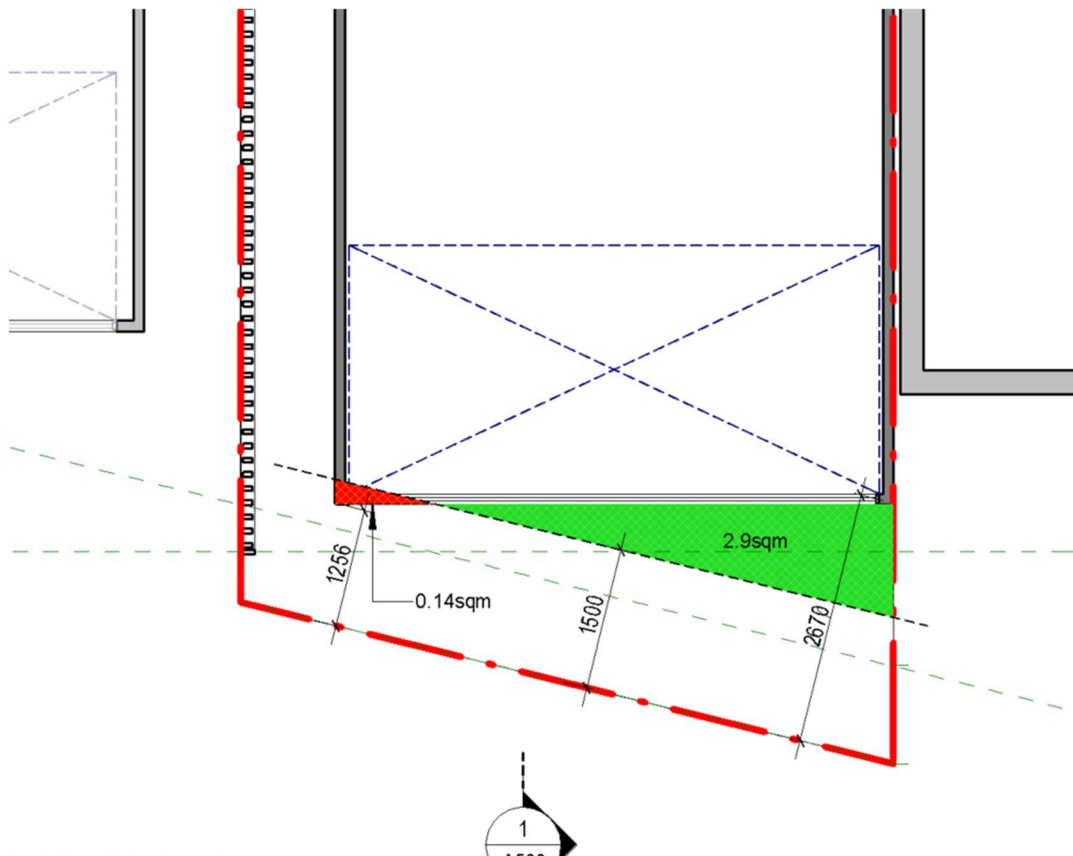
2. Garage Setback (Bow River Crescent)

Issue: A portion of the proposed garage is setback 1.2m in lieu of a minimum 1.5m, as identified at provision 8 of The Peninsula, Burswood - Local Development Plan No.1.

Justification:

- **Lot Shape:** The lot does not form a perfect square angle with the street, resulting in an angled garage.
- **Average Setback:** The east side of the garage has a setback of 1.256m, while the west side has a setback of 2.670m, averaging 1.963m. This gives the garage a reasonable setback appearance from the public realm.
- **Minimal Encroachment:** Only a very small portion (0.14 m²) of the garage encroaches into the 1.5m setback area, which is minimal compared to the overall green setback, maintaining a reasonable appearance from the public realm.

This design ensures the garage integrates well with the surrounding environment while respecting the overall visual and spatial coherence of the area.



3. Boundary Wall

Issue:

- The proposed boundary wall adjoining Lot 172, No. 67 Bow River Crescent has a maximum height of 10.6m and length of 14.7m, exceeding the Residential Design Codes' maximum wall height of 7m above natural ground level and maximum length of 14m.
- The proposed boundary wall adjoining Lot 174, No. 71 Bow River Crescent has a maximum height of 10m and length of 19.6m, exceeding the Residential Design Codes' maximum wall height of 7m above natural ground level and maximum length of 14m.

Justification:

- **Precedent:** Lot 185 has a boundary wall (3 levels) that is about 11.5m high and 2.5m higher than the adjoining lot.
- Our proposed wall is only 10.6m high, just 1.5m higher than the adjoining lot's boundary wall.
- **Overshadowing:** The design ensures there is no overshadowing of the adjoining lot's major openings, preserving their access to natural light.
- **Visual Impact:** The overall height perspective is acceptable and integrates well with the existing landscape, making the height difference less noticeable from the adjoining lot.

This design balances functional space utilization with aesthetic and environmental considerations, ensuring minimal impact on neighboring properties.

These justifications aim to demonstrate the thought and consideration put into our design to ensure it aligns with the overall vision and regulations of the development plan while also making practical and efficient use of the space. We believe these adjustments are reasonable and in keeping with the overall character and intent of the planning guidelines.

