

NOTES:

* LEVEL DATUM IS APPROX. AHD.
ORIGIN OF LEVELS IS SEWER
MANHOLE LID M5122, R.L = 16.58M

SITE SURVEY only. The information shown on this drawing is current at the date of survey. Boundary information, Easements, Encumbrances etc. to be verified from the Certificate of Title, Plan/Diagram or a boundary repeg. **Boundary position approximate only and a repeg is recommended.** Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer/Drainage may vary from schematic presentation, clearances to be checked on site. Service information to be confirmed with relevant authorities. For underground services ring 'DIAL BEFORE YOU DIG' for confirmation.

FEATURE SURVEY PLAN
1:200

LEGEND	
	BOUNDARY LINE
	FENCE LINE
	EXISTING BUILDING
	ROOF/GUTTER OUTLINE
	METAL / TIMBER COLUMN
	POWER DOME
	COMMS PIT
	TBM
	EXISTING FFL
	TREE

ProSurveys
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CONTOUR & FEATURE SURVEY			
Surveyed	CR	Drawn	JD
Datum	APPROX. AHD	C/File	
FB	LB	Scale at A3	Drawing No
Ref No	24059		24059 DET-001

PT. 1 ON SP48143 (#68) ENFIELD STREET, LATHLAIN, WA 6100.			
Date	5.08.2024	Signed	
Checked		Revision	a



STAGE: **PLANNING & ENGINEERING**
PROPOSED RESIDENCE AT:
**68 ENFIELD STREET
LATHLAIN**

SHEET: FEATURE SURVEY PLAN			
DATE:	REV:	DESCRIPTION:	BY:
28-02-24	A	CONTRACT	JE
25-03-24	B	CONTRACT AMENDMENTS	JE
18-04-24	C	CONTRACT AMENDMENTS	JE
12-09-24	D	PLANNING & ENGINEERING - VO#7477	ST

NEXUS HOME IMPROVEMENTS:		SHEET N°:	
P: 21 HAMMOND ROAD COCKBURN CENTRAL WA 6164		1 OF 12	
T: 08 9414 1789		JOB N°:	
ABN: 7215269326		2020	
W: www.nexushomesgroup.com.au		SCALE: A3 SHEET	

LEGEND:

NEW	EXIST

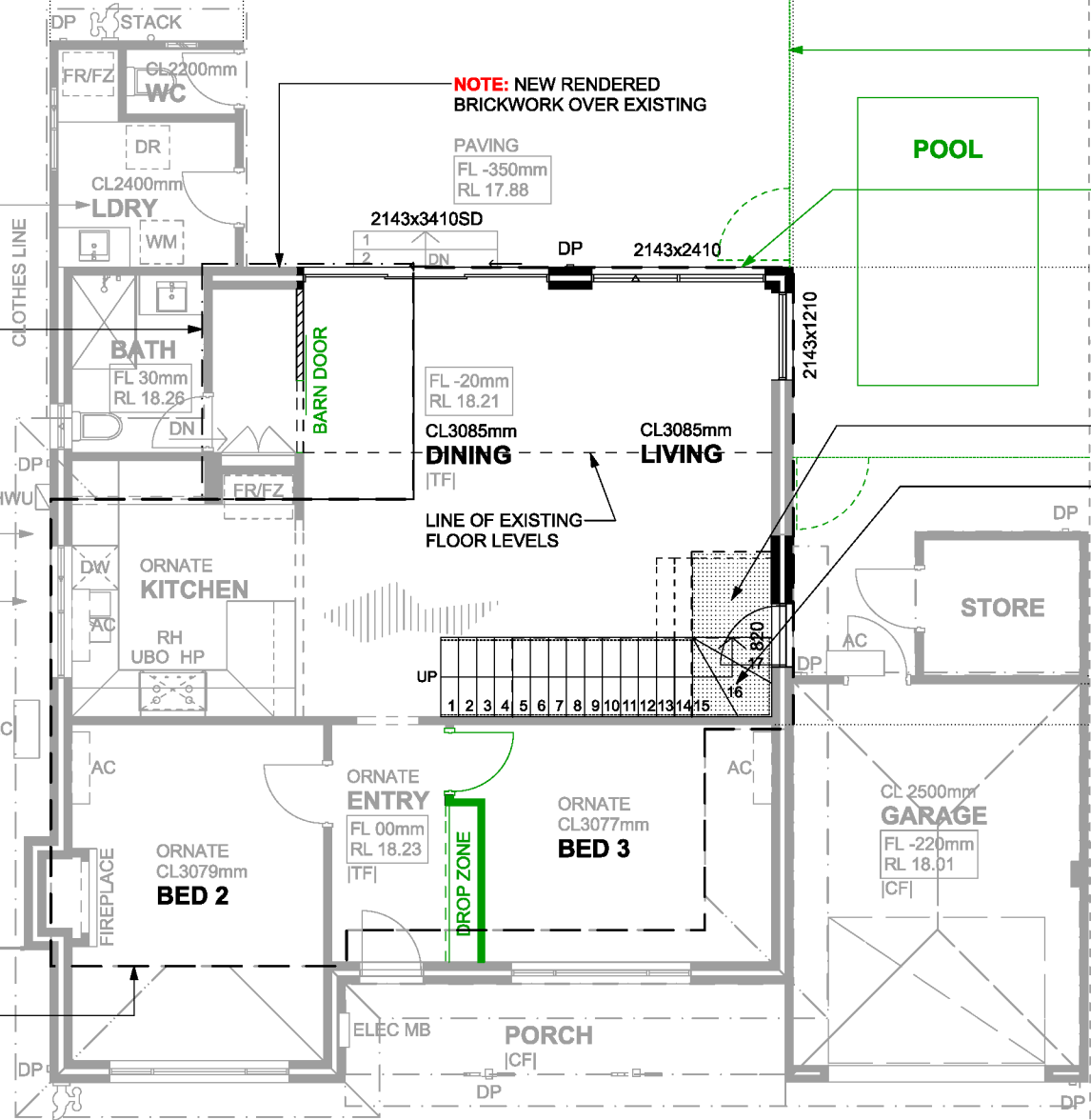
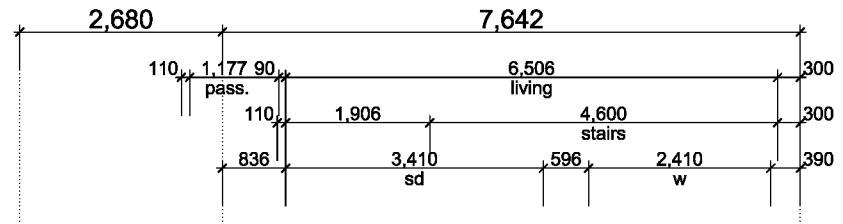
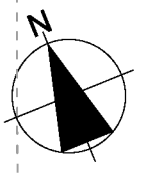
WHERE POD CONSTRUCTION: EXTERNAL WALLS AND INTERNAL POD JOINS INCLUDE PLYWOOD BOARD ON TIMBER FRAME WALL
 [CF] CONCRETE FLOOR
 [TF] TIMBER FRAME FLOOR
 ZIG ZAG = DRYLINE PLASTERBOARD
GREEN NOTES = ITEMS IN GREEN HAVE/NOT BEEN ALLOWED FOR BY THE BUILDER

ADDENDUM NOTE:
 DRAWINGS TO BE READ IN CONJUNCTION WITH ADDENDUM TO THE SPECIFICATION AND COLOUR ADDENDUM

WINDOW NOTE: UPPER FLOOR BEDROOM WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA 3.9.2.6

STAIR NOTE: STAIR CONSTRUCTION TO COMPLY WITH BCA 3.9.1. BALUSTRADE AND HANDRAILS TO COMPLY WITH BCA 3.9.2

STRATALOT



1200H POOL FENCE & GATE TO NCC & AS 1926

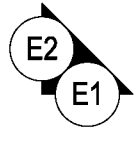
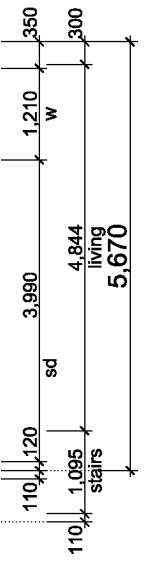
WINDOW TO BE COMPLIANT POOL BARRIERS NCC & AS 1926

NOTE: TIMBER FRAME OVER FOR NEW ROOF SUPPORT

SQUARE SET DROPPED CEILING 2730mmAFL

SQUARE SET DROPPED CEILING 2400mmAFL

UPPER FLOOR OVER AS SHOWN DASHED



GROUND FLOOR PLAN
 1:100

GF AREAS	
EXISTING GARAGE	28.05
EXISTING GROUND	117.24
EXISTING PORCH	8.33
	153.62 m ²



STAGE: **PLANNING & ENGINEERING**

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68 ENFIELD STREET LATHLAIN

SHEET: GROUND FLOOR		BY:
DATE:	REV:	DESCRIPTION:
28-02-24	A	CONTRACT
25-03-24	B	CONTRACT AMENDMENTS
18-04-24	C	CONTRACT AMENDMENTS
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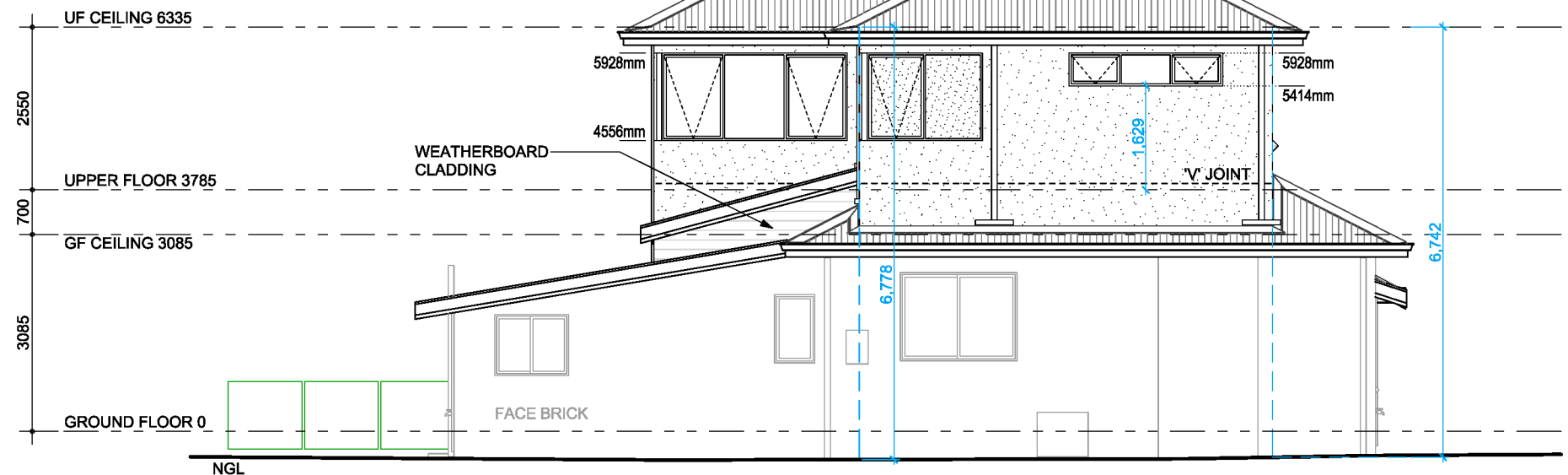
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 P: 21 HAMMOND ROAD COCKBURN CENTRAL WA 6164
 T: 08 9414 1789
 ABN: 72152669326
 W: www.nexushomesgroup.com.au

SHEET N°: **4 OF 12**
 JOB N°: **2020**
 SCALE: A3 SHEET

NOTE: DO NOT SCALE FROM THESE DRAWINGS. ALL CONTRACTORS TO CHECK MEASURE ON SITE PRIOR TO FABRICATION. ANY DISCREPANCIES TO BE REPORTED TO SUPERVISOR IMMEDIATELY



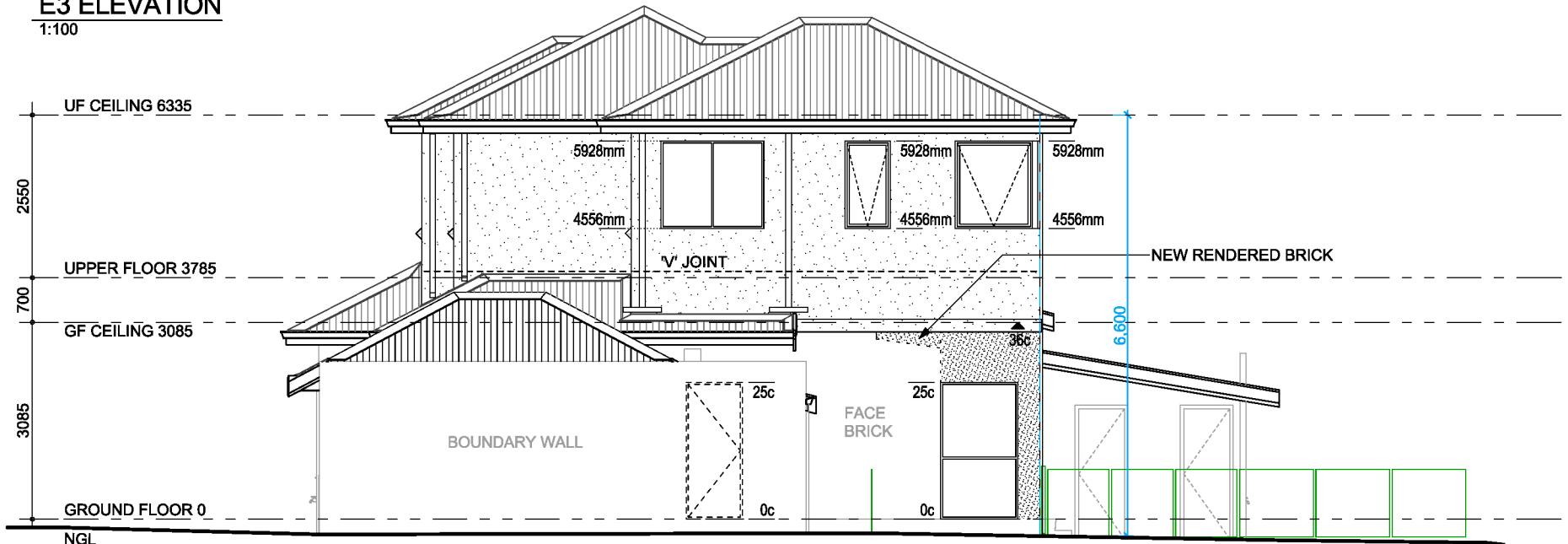
E1 ELEVATION
1:100



E2 ELEVATION
1:100



E3 ELEVATION
1:100



E4 ELEVATION
1:100



STAGE:
PLANNING & ENGINEERING

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**68 ENFIELD STREET
LATHLAIN**

SHEET:
ELEVATIONS

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8 OF 12

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2020

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