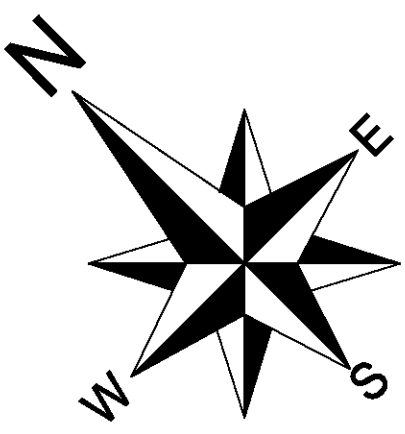


**NOTE:**  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
**Setbacks MUST be confirmed  
by Water Corp. before any  
design work is undertaken.  
This line is NOT definitive.**

**NOTE:**  
Positions of all sewer manholes, junctions and sewer  
lines are approximate only due to lack of information.  
Please confirm all positions with Water Corp.

LEGEND		Power Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Wall
		Top Retaining
		Top Fence



**BEWARE:**  
Deep sewer junction.  
Check With Water Corp  
**BUILDER and PLUMBER**  
check GRADE.

**NOTE:**  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
**Setbacks MUST be confirmed  
by Water Corp. before any  
design work is undertaken.  
This line is NOT definitive.**

Ref Nail At Base Of Kerb Approx.  
A.H.D. level 15.39m (Established from  
S.M.H. number 0048 using data supplied  
by the Water Corporation.)

Ref Nail At Base Of Kerb Approx.  
A.H.D. level 15.71m (Established from  
S.M.H. number 0048 using data supplied  
by the Water Corporation.)

Ref Nail At Base Of Kerb Approx.  
A.H.D. level 15.69m (Established from  
S.M.H. number 0048 using data supplied  
by the Water Corporation.)

**EXISTING SITE PLAN**

1:100

EXISTING BUILDING RE-FIT ON:  
**Lot 7 (#184a) Shepperton Road  
East Victoria Park**  
FOR:

**SIGNATURES:**

OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

**AMENDMENTS:**

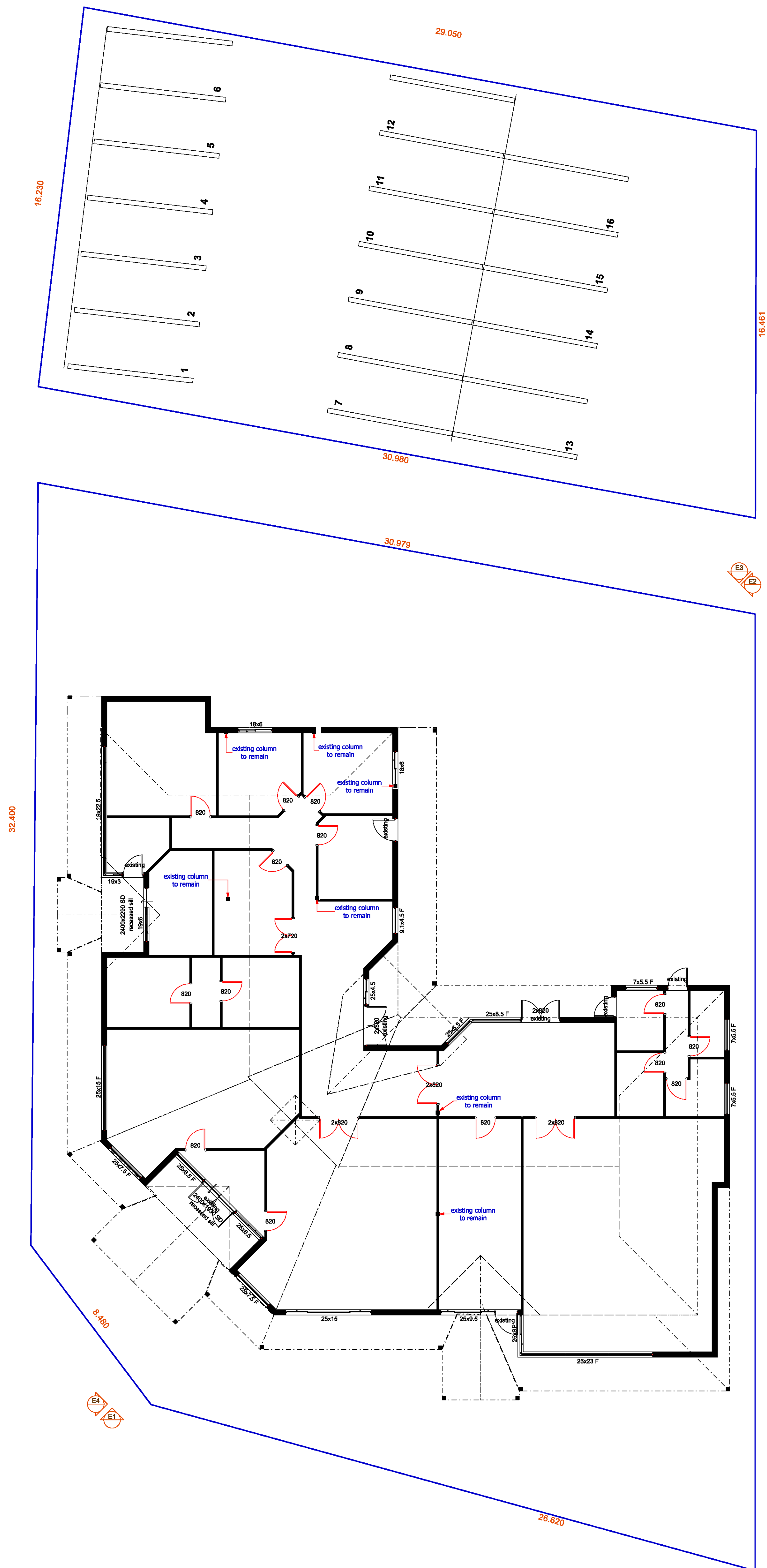
01/07/23	1st DRAFT
06/07/23	2nd DRAFT
07/07/23	3rd DRAFT
20/07/23	4th DRAFT
14/07/23	PLANNING
22/08/23	FINAL DESIGN, CANCEL EXISTING EMBARKMENTS

**A1 SHEET**

SHEET: 8 of 9  
DRN: ESC  
DATE: 11/01/2023  
SCALE: 1:100  
CONTRACT NO: \_\_\_\_\_







## EXISTING FLOOR PLAN

1:100

EXISTING BUILDING RE-FIT ON:  
**Lot 7 (#184a) Shepperton Road**  
**East Victoria Park**  
FOR:

**SIGNATURES:**

**OWNER:** \_\_\_\_\_

**OWNER:** \_\_\_\_\_

**BUILDER:** \_\_\_\_\_

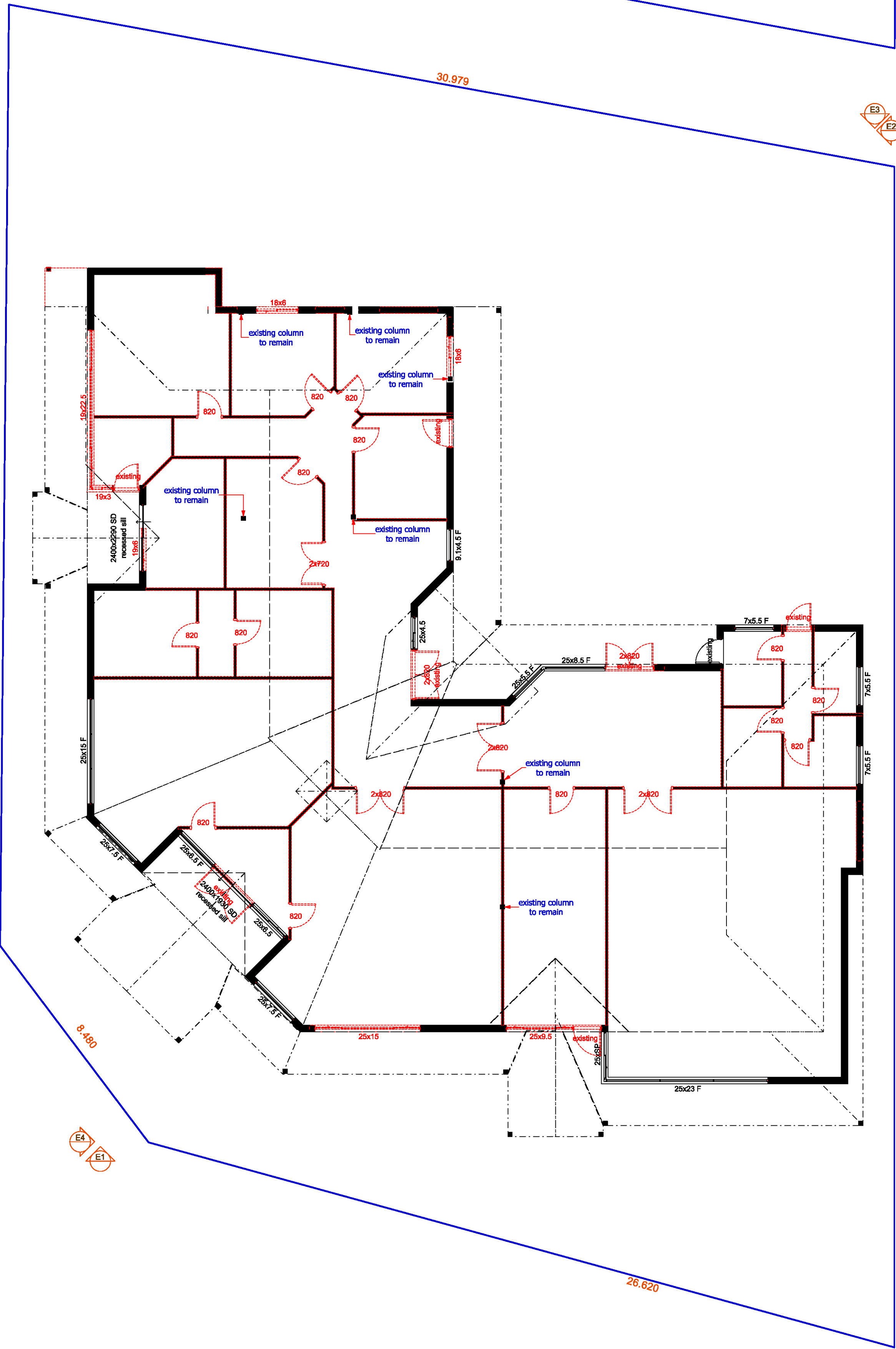
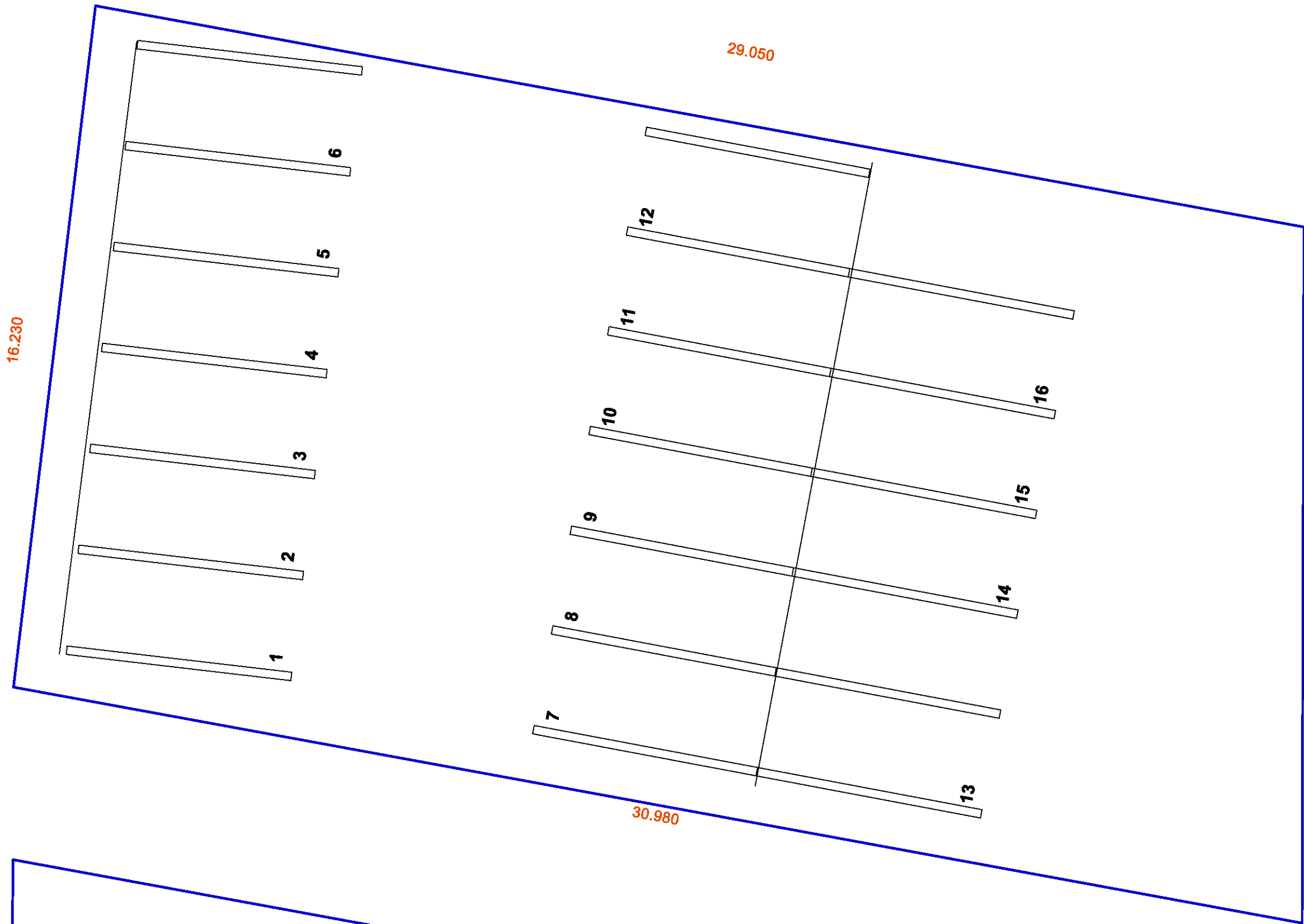
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AMENDMENTS:	
07/01/23	1st Draft
08/02/23	2nd Draft
01/03/23	3rd Draft
29/05/23	4th Draft
14/07/23	Planning
22/08/23	Rear Roof, Cabs, Existing Elements

<b>A1 SHEET</b>
<b>SHEET: 1 of 9</b>
<b>DRN: ESC</b>
<b>DATE: 11/01/2023</b>
<b>SCALE: 1:100</b>
<b>CONTRACT NO:</b>








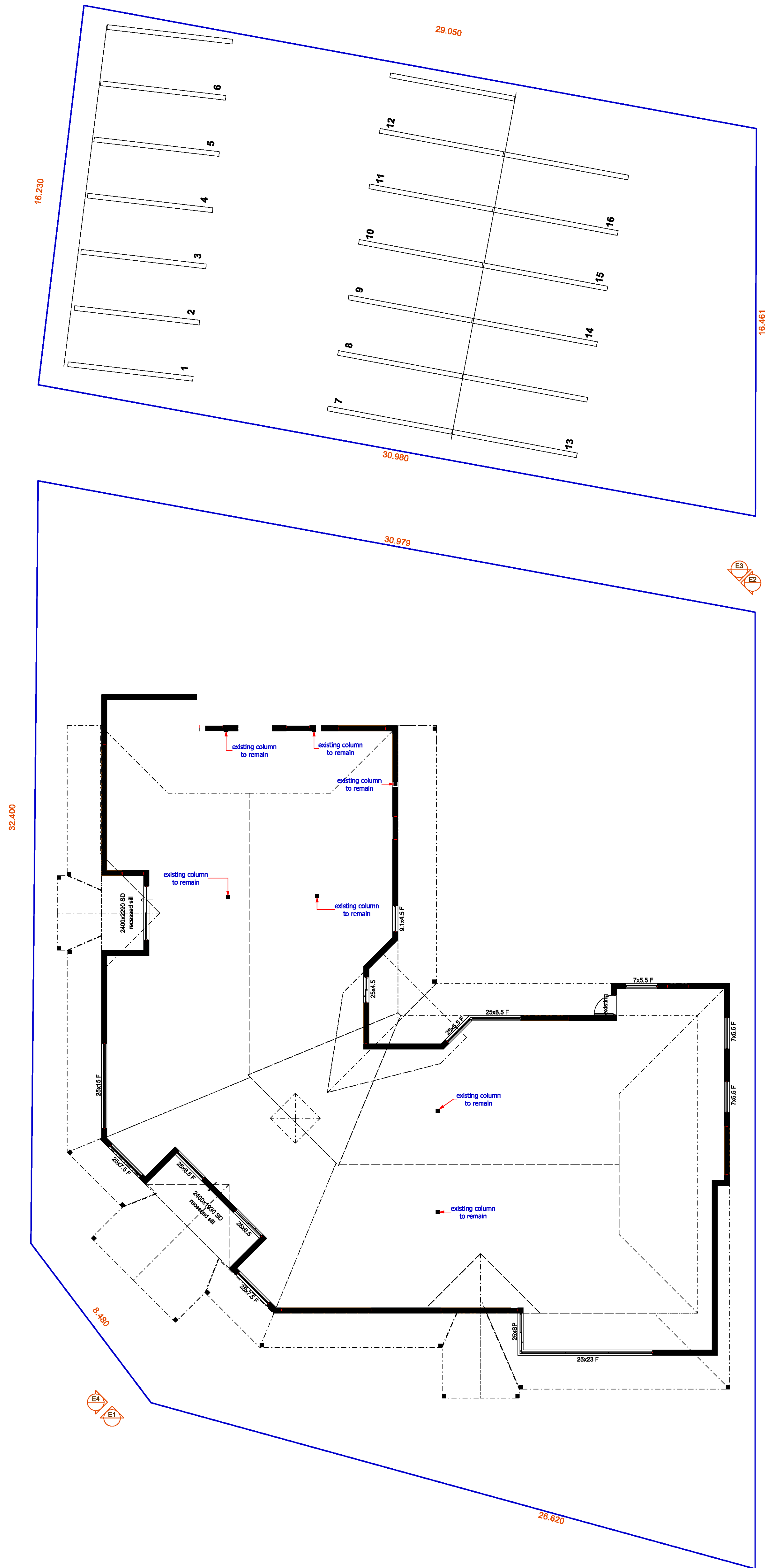
**NOTE**  
Elements to be demolished  
shown in red.  
All remaining elements are  
to be retained

DEMOLITION PLAN

1:100

 <p>Listen better. Plan better. Build better.</p>	EXISTING BUILDING RE-FIT ON: <b>Lot 7 (#184a) Shepperton Road</b> <b>East Victoria Park</b> FOR:	SIGNATURES: OWNER: _____ OWNER: _____ BUILDER: _____ DATE: _____	AMENDMENTS: 10/10/23 1st DRAFT 06/02/23 2nd DRAFT 07/03/23 3rd DRAFT 12/05/23 4th DRAFT 14/07/23 Planning 22/08/23 Final 100% CAD, Existing Elements	A1 SHEET SHEET: 2 of 9 DRN: ESC DATE: 11/01/2023 SCALE: 1:100 CONTRACT NO: _____





### AFTER DEMOLITION PLAN

1:100

EXISTING BUILDING RE-FIT ON:  
**Lot 7 (#184a) Shepperton Road**  
**East Victoria Park**  
FOR:

**SIGNATURES:**

OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_

BUILDER: \_\_\_\_\_

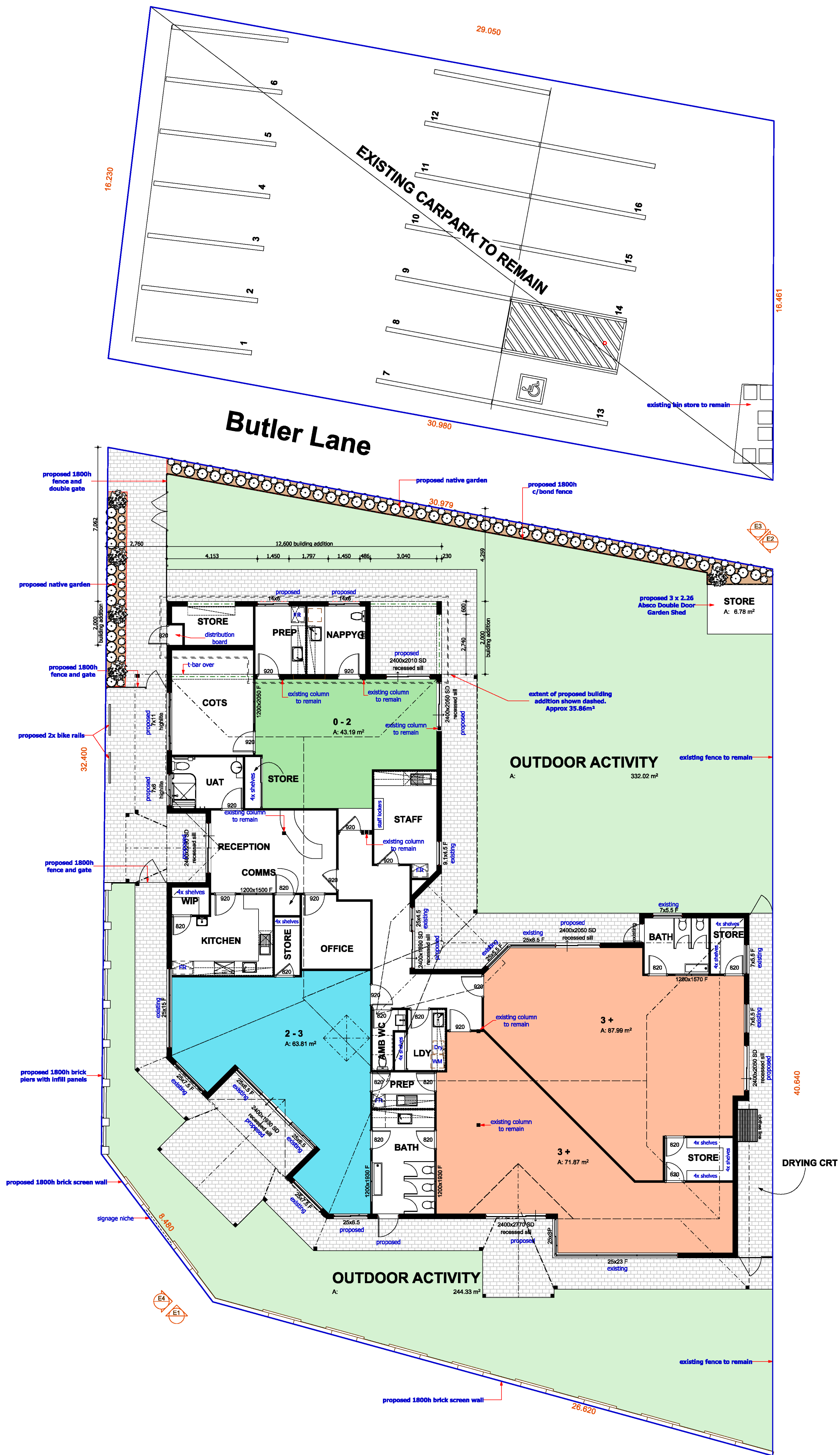
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[illegible]

<b>A1 SHEET</b>
<b>SHEET: 3 of 9</b>
<b>DRN: ESC</b>
<b>DATE: 11/01/2023</b>
<b>SCALE:1:100</b>
<b>CONTRACT NO:</b>

AREA CALCULATION		
. Building Addition	35.86	31,879
. Existing Building	468.92	118,632
. Site	1,188.70	139,119
. Parking	486.23	92,721
	2,179.71 m <sup>2</sup>	





### Building and Site Criteria

**Play Area:**

Capacity: 82

**Indoor:-**

Required: 266.5m<sup>2</sup>  
Provided: 266.86m<sup>2</sup>

**Outdoor:-**

Required: 574.00m<sup>2</sup>

Provided: 574.3m<sup>2</sup>

Capacity:

0-2 years: 12 (3 Staff)

**2-3 years: 30 (6 Staff)**

over 3 years: 40 (4 Staff)

Total: 82  
Total staff: 15

Total staff: 15

## Parking

**Required: 16 (in**

Provided on-sit

Adjacent parking: 9

Total available parking	1,000
-------------------------	-------

Areas	
0 - 2	43.19
2 - 3	63.81
3 +	159.86
AMB WC	3.16
BATH	21.04
COMMS	1.11
COTS	17.94
DRYING CRT	11.48
KITCHEN	15.24
LDY	5.73
NAPPY	8.27
OFFICE	10.15
OUTDOOR ACTIVITY	576.35
PREP	11.86
RECEPTION	21.78
STAFF	12.81
STORE	27.57
UAT	7.66
WIP	2.12

AREA CALCULATION		
. Building Addition	35.86	31,879
. Existing Building	468.92	118,632
. Site	1,188.70	139,115
. Parking	486.23	92,721
	2,179.71 m <sup>2</sup>	

## PROPOSED PLAN

1:100



**EXISTING BUILDING RE-FIT ON:**  
**Lot 7 (#184a) Shepperton Road**  
**East Victoria Park**  
**FOR:**

FOR:

**SIGNATURES:**

OWNER: \_\_\_\_\_

\_\_\_\_\_

OWNER: \_\_\_\_\_

**RECEIVED**

**AMENDMENTS:**

09/01/23	1st Draft
06/02/23	2nd Draft
01/03/23	3rd Draft
29/05/23	4th Draft
14/07/23	Planning
22/08/23	Rear Roof, Cabs, Existing Elements

**A1 SHEET**

SHEET: 4 of 9

DRN: ESC

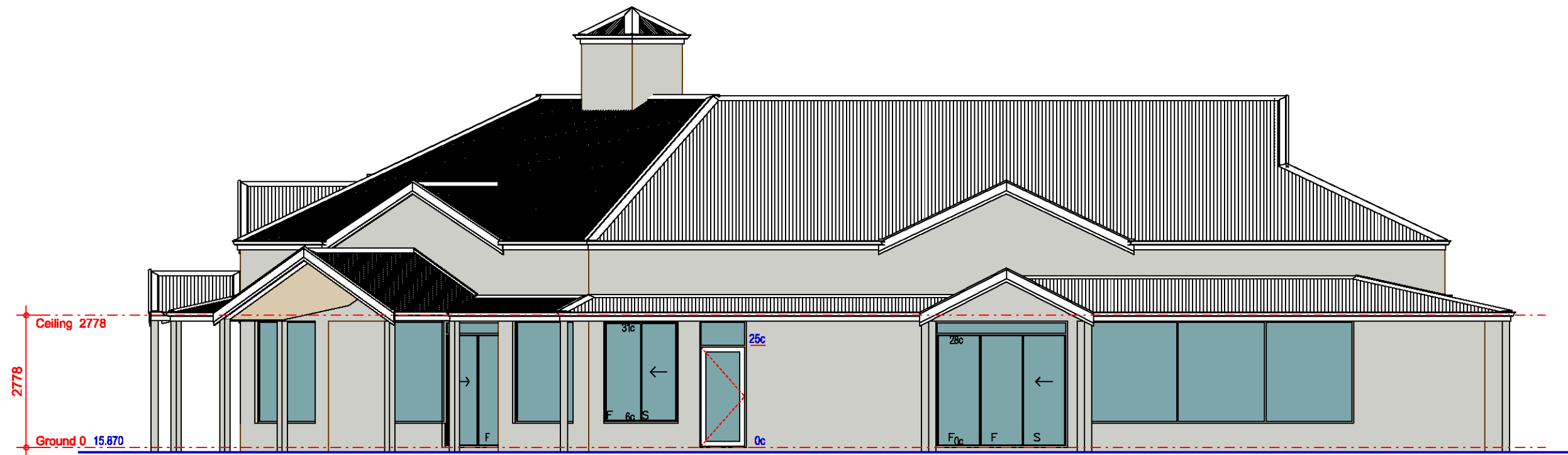
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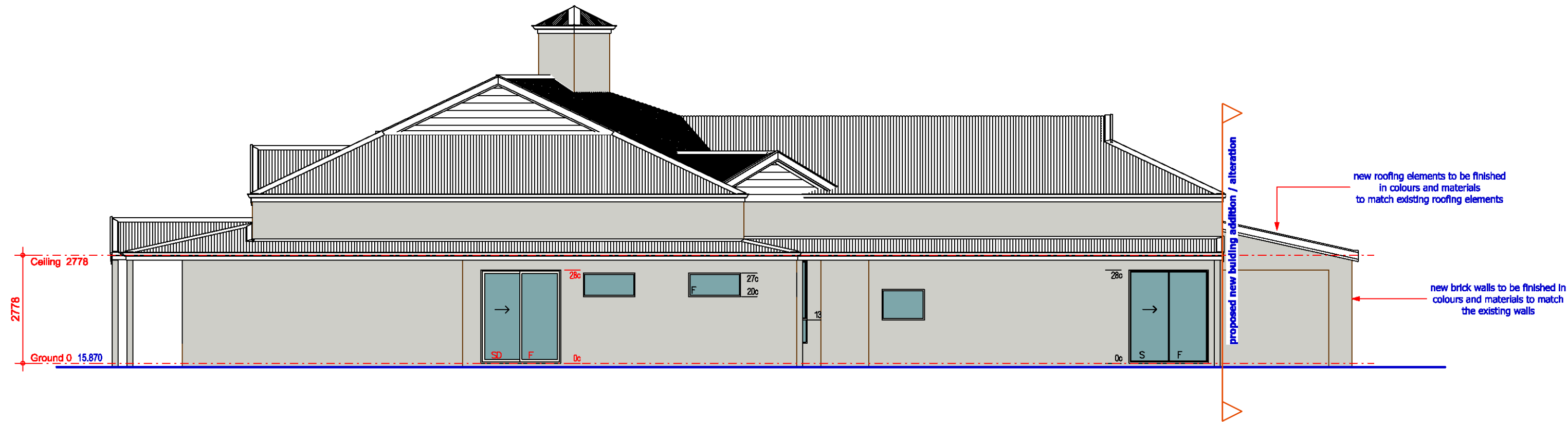


All existing elements to maintain their current finish, colour and appearance unless noted otherwise

TOWN OF VICTORIA PARK  
Received: 30/10/2023



E1 FRONT ELEVATION  
1:100



E2 SIDE ELEVATION  
1:100

PROPOSED ELEVATIONS 1  
1:100

<div> Listen better. Plan better. Build better</div>	PROPOSED RESIDENCE TO BE ERRECTED ON: <b>Lot 7 (#184a) Shepperton Road</b> <b>East Victoria Park</b> FOR:	SALES CONSULTANT: <b>SS</b>  LOCAL AUTHORITY: <b>VICTORIA PARK</b>  ZONING: R XX  SITE AREA: XXXXm <sup>2</sup>  SITE COVER: XX%	<table><tr><th colspan="2">AMENDMENTS:</th></tr><tr><td>10/01/23</td><td>1st Draft</td></tr><tr><td>06/02/23</td><td>2nd Draft</td></tr><tr><td>01/03/23</td><td>3rd Draft</td></tr><tr><td>29/05/23</td><td>4th Draft</td></tr><tr><td>14/07/23</td><td>Planning</td></tr><tr><td>22/08/23</td><td>Rear Roof, Caba, Existing Elements</td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>	AMENDMENTS:		10/01/23	1st Draft	06/02/23	2nd Draft	01/03/23	3rd Draft	29/05/23	4th Draft	14/07/23	Planning	22/08/23	Rear Roof, Caba, Existing Elements											<table><tr><th>A2 SHEET</th></tr><tr><td>SHEET: 5 of 9</td></tr><tr><td>DRN: ESC</td></tr><tr><td>DATE: 11/01/2023</td></tr><tr><td>DSN:</td></tr><tr><td>SCALE:1:100</td></tr><tr><td>CONTRACT NO:</td></tr></table>	A2 SHEET	SHEET: 5 of 9	DRN: ESC	DATE: 11/01/2023	DSN:	SCALE:1:100	CONTRACT NO:
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SHEET: 5 of 9																																			
DRN: ESC																																			
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SCALE:1:100																																			
CONTRACT NO:																																			
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TOWN OF VICTORIA PARK  
Received: 30/10/2023



1:100

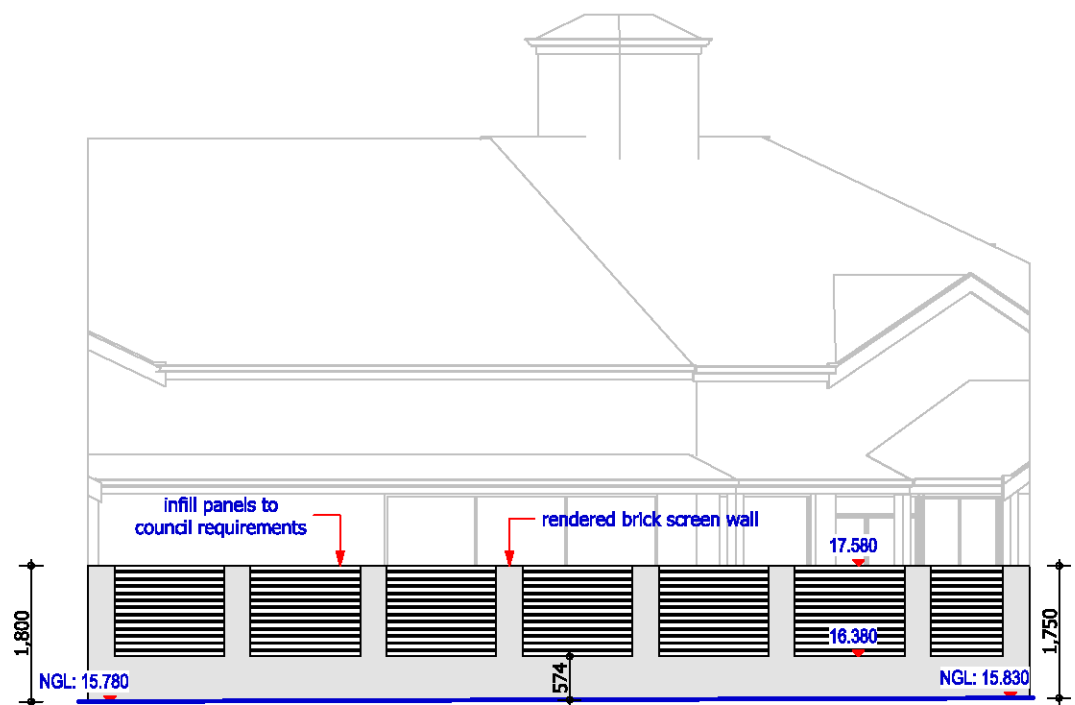
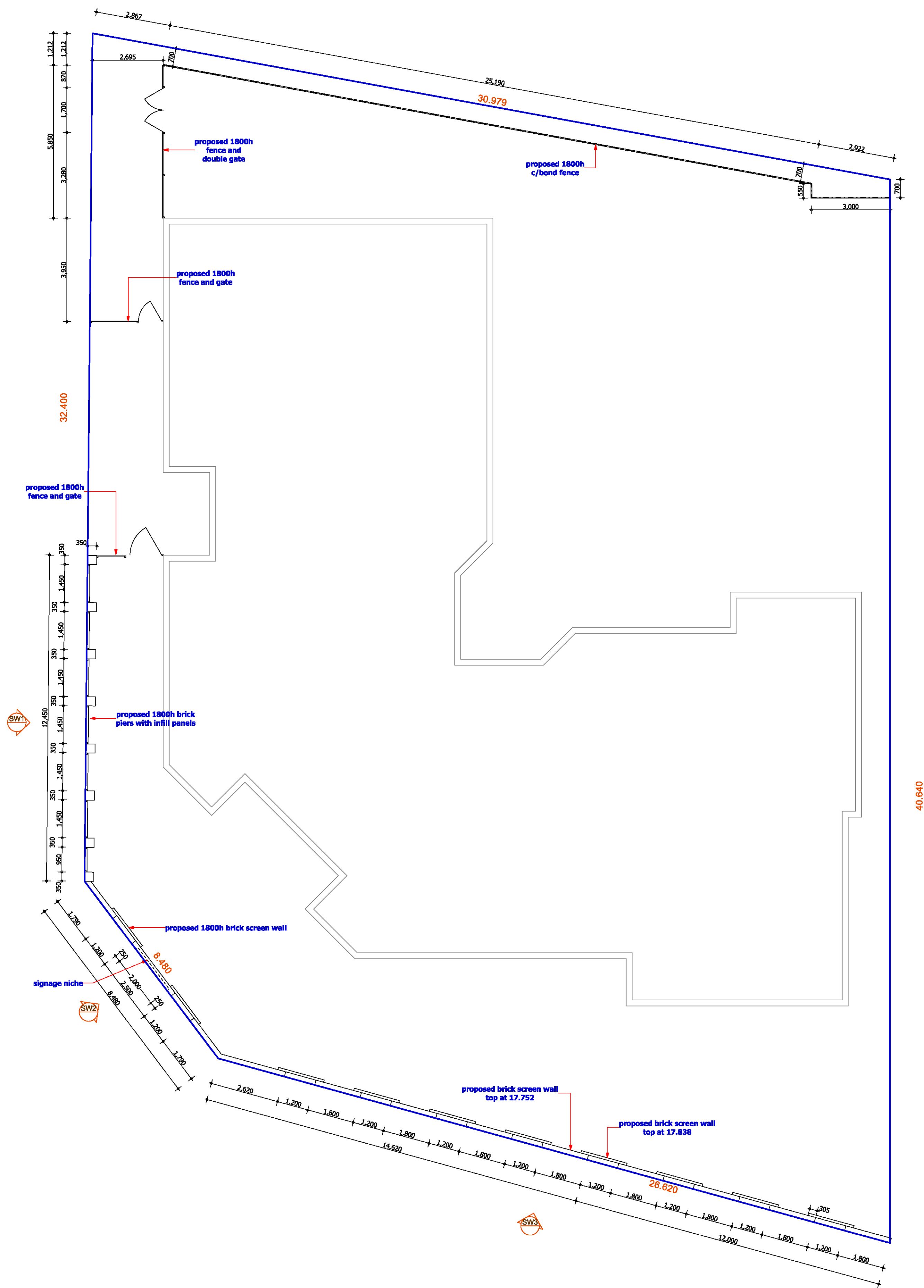


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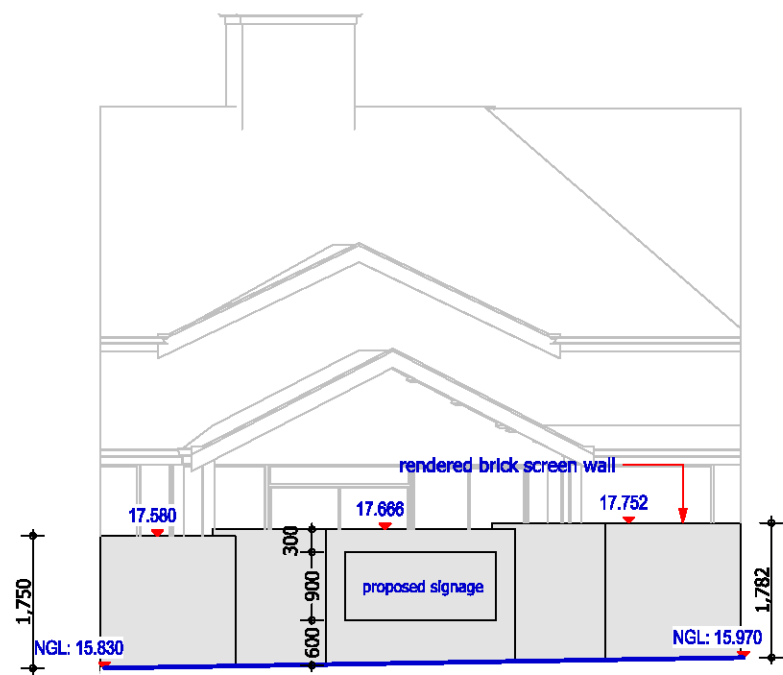
AMENDMENTS:		
10/01/23		1st Draft
06/02/23		2nd Draft
01/03/23		3rd Draft
29/05/23		4th Draft
14/07/23		Planning
22/08/23		Rear Roof, Cabs, Existing Elements

<b>A2 SHEET</b>
<b>SHEET: 6 of 9</b>
<b>DRN: ESC</b>
<b>DATE: 11/01/2023</b>
<b>DSN:</b>
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<b>CONTRACT NO:</b>

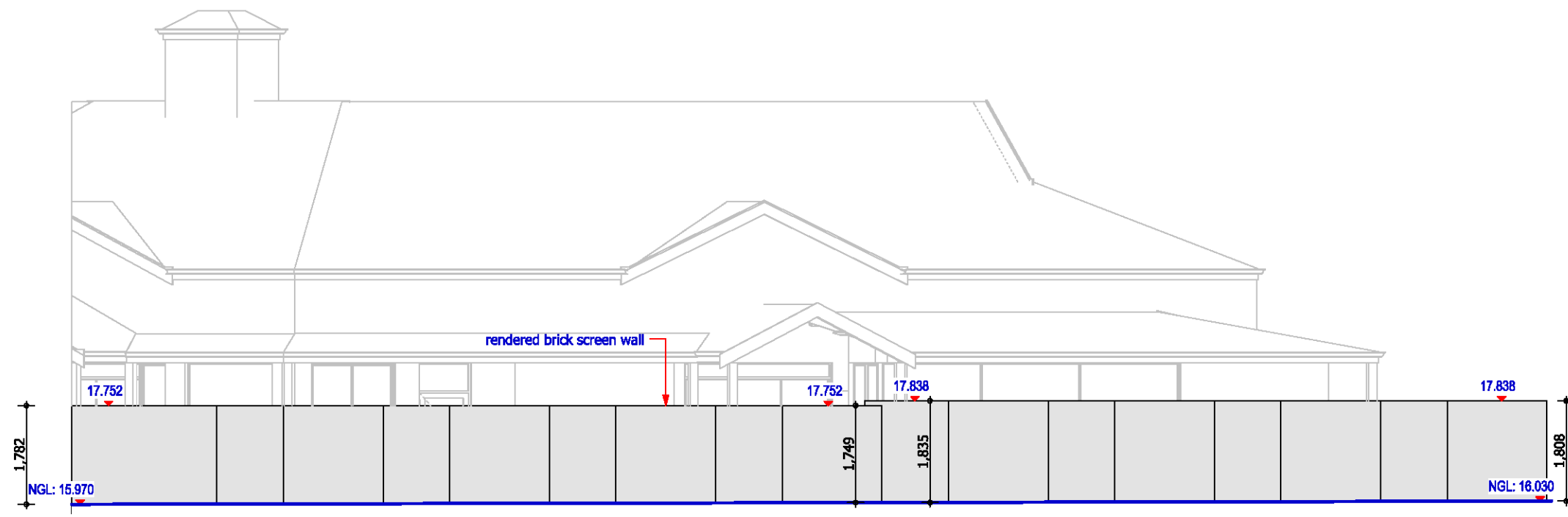




SW1  
1:100



SW2  
1:100



SW3  
1:100

PROPOSED FENCING  
1:100

EXISTING BUILDING RE-FIT ON:  
**Lot 7 (#184a) Shepperton Road**  
**East Victoria Park**  
FOR:

SIGNATURES:  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

AMENDMENTS:  
03/10/23 1st DRAFT  
06/02/23 2nd DRAFT  
07/03/23 3rd DRAFT  
23/05/23 4th DRAFT  
14/07/23 Planning  
22/08/23 Final 1800h C/Bond Existing Elements

A1 SHEET  
SHEET: 7 of 9  
DRN: ESC  
DATE: 11/01/2023  
SCALE: 1:100  
CONTRACT NO: \_\_\_\_\_



Listen better. Plan better. Build better.