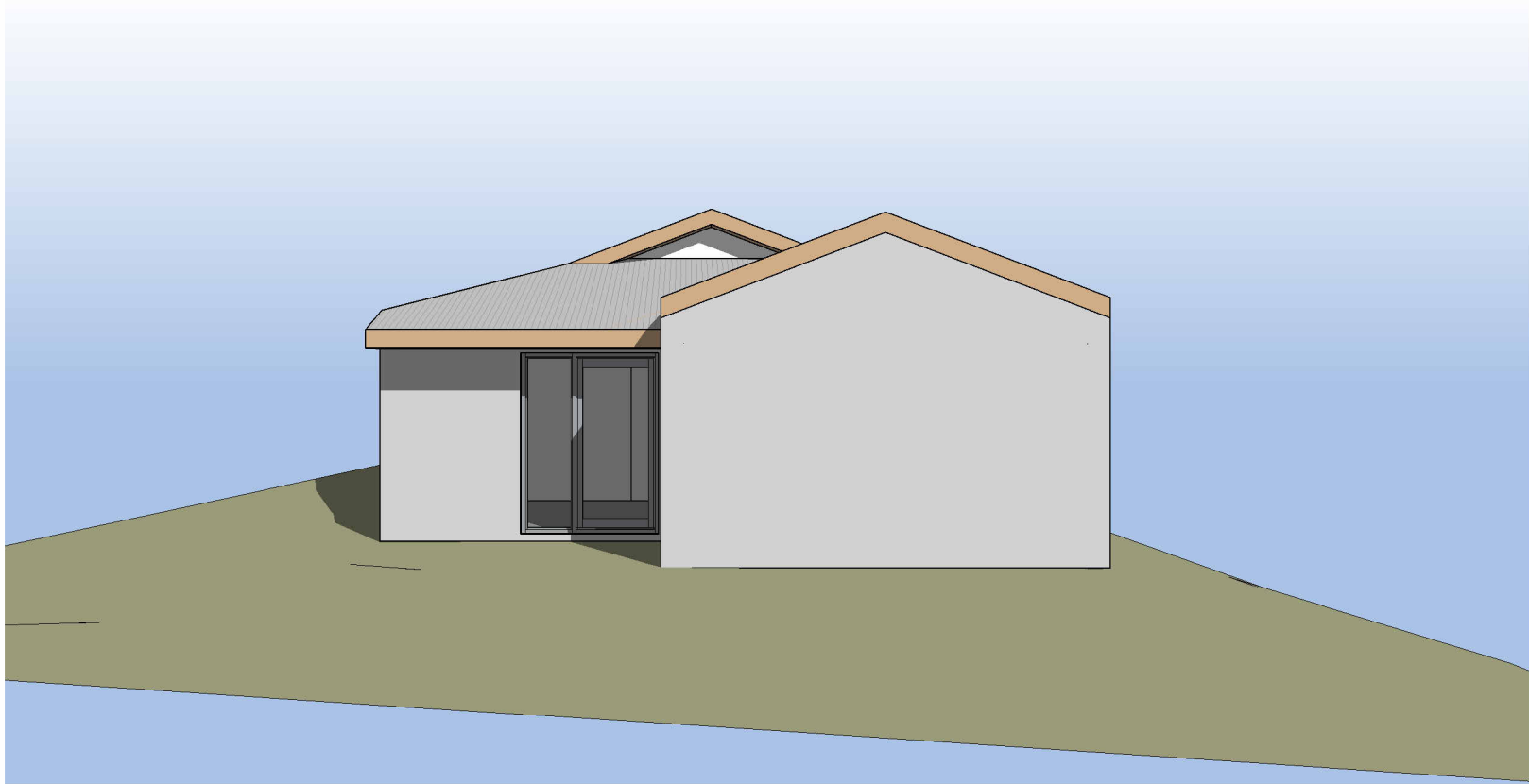


ARCHITECTURAL DRAWING LIST

Sheet	Name	Date
AD00	COVER PAGE	2024-10-16
AD01	SITE PLAN	2024-10-16
AD02	DEMOLITION PLAN	2024-10-16
AD03	PROPOSED FLOOR PLAN	2024-10-16
AD04	ELEVATIONS	2024-10-16
AD05	ROOF PLAN	2024-10-16
AD06	SECTIONS & DETAILS	2024-10-16
AD07	WET AREAS	2024-10-16
AD08	ELECTRICAL PLAN	2024-10-16



Project	
23 DANE STREET EAST VICTORIA PARK	
Drawing Title	
COVER PAGE	
Drawn: NK	Scale: @ A3
Date: 2024-10-16	Revision:
Drawing Number: AD00	North:

SYMBOL LEGEND:

- TEMP. BENCHMARK
- TELSTRA PIT
- HW HOTWATER SYSTEM
- W WINDOW
- (TOW) TOP OF WALL
- (TOF) TOP OF FENCE
- WATER METER
- P POWER DOME
- PS POWER SWITCHBOARD
- D DOOR
- (TRW) TOP OF RET. WALL
- LETTER BOX

TOWN OF VICTORIA PARK
Received: 16/10/2024



GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS

BRICKLAYER NOTES:

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK
- 2ND FACE BRICKWORK TO INSIDE OF GARAGE.

PLASTERER/ RENDERER NOTES:

- ACRYLIC RENDER EXTERNALLY
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- RENDER TO EXTEND DOWN TO BOTTOM OF FOOTING

CONCRETOR NOTES:

- PIER & POST FOOTING TOP @ -2c FROM PAVING LEVEL OR AS NOTED ON FLOOR PLAN

GARAGE GRANO NOTES:

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ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.
- ROOF BEAMS ARE SHOWN DIAGRAMMATICALLY ONLY REFER TO ENGINEERS DETAIL.

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- SMOKE ALARM TO BE HARD WIRED, INTERCONNECTED AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

PLUMBER NOTES:

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- ALL GLAZING IN ACCORDANCE WITH BCA CLAUSE 3.6 AND AS1288

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- WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND TO COMPLY WITH AS4654.1 AND AS4654.2
- WATERPROOFING TO WET AREAS TO COMPLY WITH BCA CLAUSE 3.8.1 AND AS3740.

SITE COVERAGE

SITE AREA = 374.43m²
EXISTING FLOOR AREA = 113.33m²
EXISTING PATIO AREA = 48.57m²

PROPOSED ADDITION AREA = 6.92m²
PROPOSED CONVERSION AREA = 19.70m²

PROPOSED SITE COVERAGE = 188.52m² (50.35%)

- DRAINAGE NOTES:**
1. VOLUMES ARE IN CUBIC METRES & AREA IN SQUARE METERS.
 2. VOLUME TO BE STORED IS CALCULATED BY MULTIPLYING SQUARE METRES OF IMPERVIOUS SURFACE BY 0.0208. THIS IS SUITABLE FOR A 1 IN 20 YEAR STORM.
 3. DOWN PIPES LOCATION ARE INDICATIVE ONLY.
 4. PLUMBER TO CONFIRM RUN LAYOUT & LOCATION OF SOAK WELLS. DRAWINGS ARE INDICATIVE ONLY.

DRAINAGE CALCULATIONS.

DIAM	DEPTH	NO OF TANKS	VOLUME
900	600	1	0.381m ³
NEW EXTENSION VOLUME TO STORE			= 6.92 m ³
			= 0.15 m ³

NOTE: ALL DOWNPIPES CONNECTED TO INTERCONNECTED SOAKWELLS WITH PVC STORMWATER PIPE

DRAINAGE NOTE

SCALE 1 : 200

DISCLAIMER:
LOT BOUNDARY DIMENSIONS SHOWN ON THIS SURVEY HAVE BEEN OBTAINED FROM PLANS ORDERED FROM LANDGATE. THESE PLANS ARE ASSUMED TO BE THE CORRECT AND CURRENT DEFINITION OF THE PARCEL OF LAND.

DISCLAIMER:
CURRENT CERTIFICATE OF TITLE SHOWN ON THIS SURVEY MAY AFFECT THE BOUNDARIES OF THE SUBJECT LOT.

DISCLAIMER:
IN THE CASE OF STRATA LOT BOUNDARIES, PLEASE CHECK STRATA PLAN FOR DESCRIPTION OF STRATA LOT BOUNDARIES AND STRATUM DEFINITIONS.

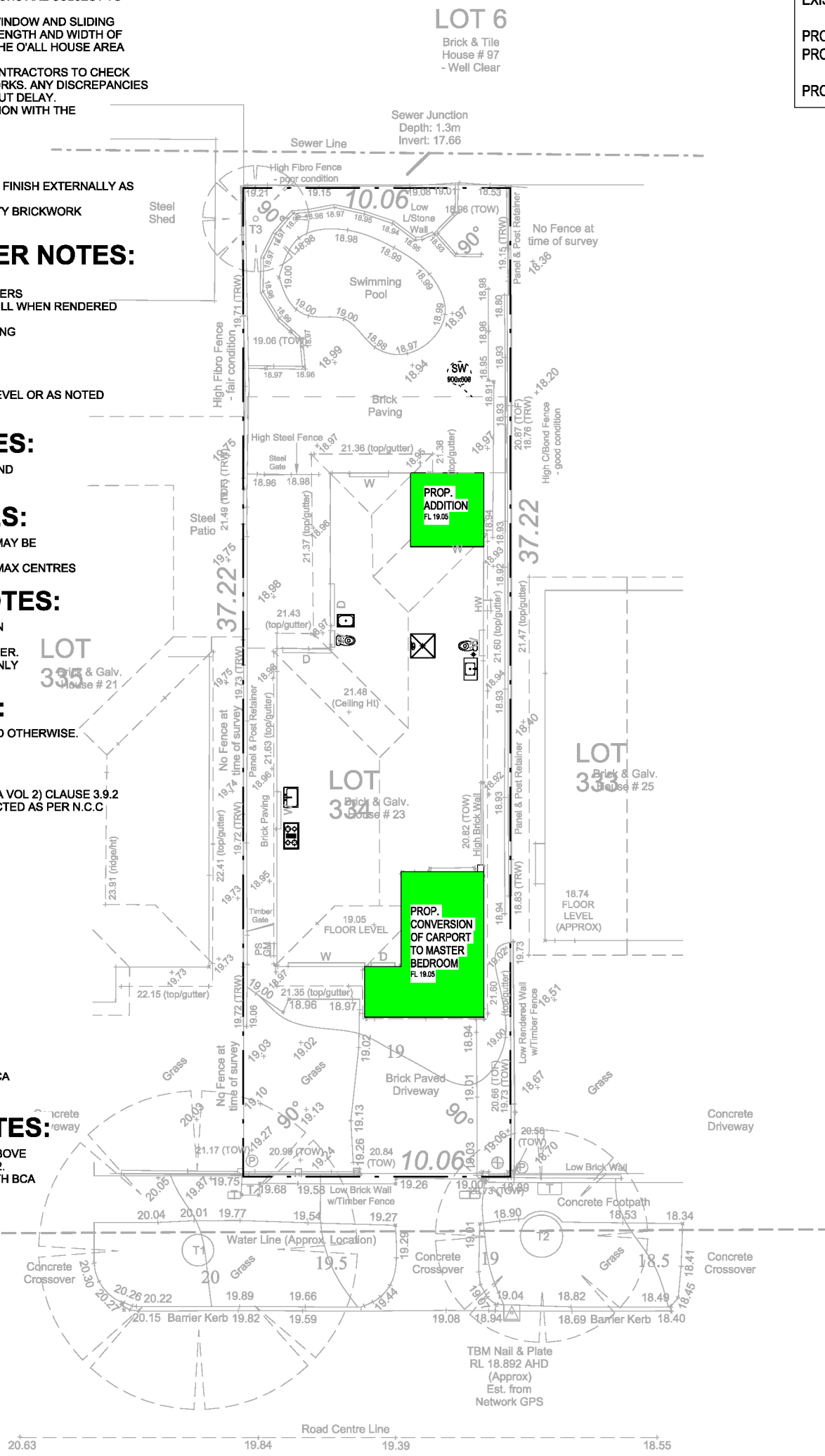
DISCLAIMER:
DUE TO RESTRICTIONS IN OBTAINING LEVELS AND FEATURES OF ADJOINING PROPERTIES, ALL INFORMATION PROVIDED BEYOND THE BOUNDARIES OF THE SUBJECT LOT ARE DEEMED TO BE APPROXIMATE ONLY.

DISCLAIMER:
VISION SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY PHYSICAL CHANGES TO THE SUBJECT PARCEL OF LAND ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING LOT LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE SHOWN ON THIS SURVEY.

DISCLAIMER:
THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

DISCLAIMER:
THIS SURVEY DOES NOT VERIFY THE POSITION OF CADASTRAL BOUNDARIES. ALL FEATURES ARE BASED ON THE ORIENTATION OF EXISTING PEGS, FENCES, AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT. A CADASTRAL ALIGNMENT SURVEY SHOULD BE UNDERTAKEN TO VERIFY TRUE BOUNDARY POSITIONS BEFORE ADOPTING ANY SITE FEATURES FOR DESIGN PURPOSES.

DISCLAIMER:
AHD HEIGHT IS APPROXIMATE AND HAS BEEN DERIVED FROM EITHER NETWORK GPS OR A NEARBY WATERCORP. ASSET. REFER TO THE TBM REFERENCE FOR THE AHD DERIVATION OF THIS SURVEY.



Tree ID	Trunk	Canopy	Tree Height	Comment
T1	1.20	12.0	8.0	1.3 DBH
T2	1.60	12.0	8.0	1.7 DBH
T3	0.20	4.0	4.0	

UTILITY SERVICES: Service Available Service Not Available Availability to be confirmed

WATER SEWER GAS TELSTRA/NBN POWER - U/G -O/H

59 Scarborough Beach
SCARBOROUGH WA
6119

Tel: (08) 6144
8888 (08) 6144
0099

info@visionsc.com.au
www.visionsc.com.au

VISION SURVEYS CONSULTING

FEATURE & CONTOUR SURVEY

PLOT DATE: 16/10/2024 8:09:50 PM

SCALE 1:200 (A3)

374m² R30 P2072 1769-732

LOT AREA R CODE PLAN TITLE

1 OF 1 SHEETS 1

SHEET VERSION

JOB NUMBER: VS010238

DRAFTED BY: CM

CHECKED BY: DS

DRAFTING DATE: 16.10.2024

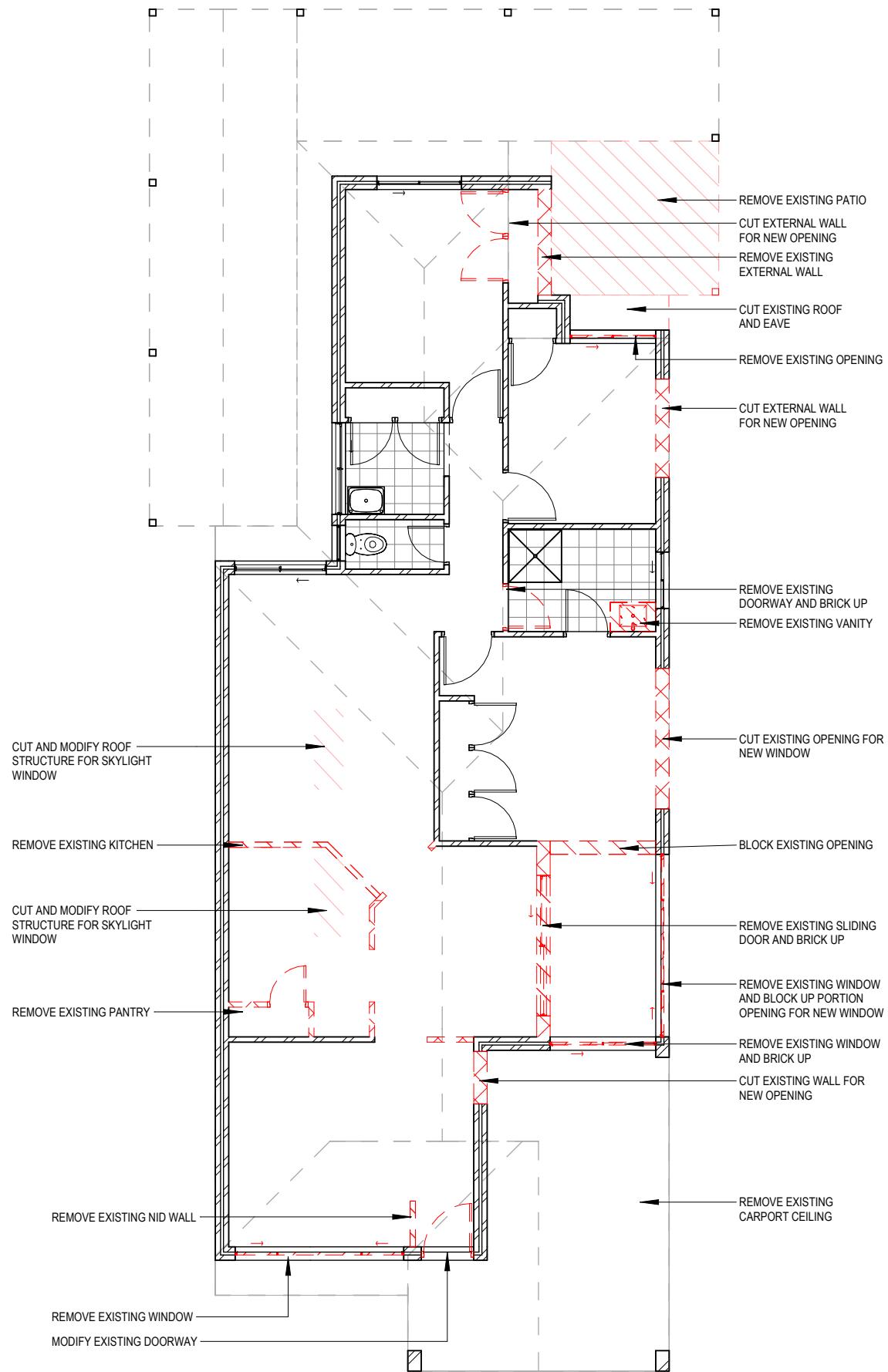
SURVEY DATE: 03.10.2024

DWG REF: Dane 23 - FEATURE v1.0 (2)

CLIENT: ADDRESS: 23 DANE ST, EAST VICTORIA PARK

LOCAL GOVERNMENT: TOWN OF VICTORIA PARK

NOTE: THIS PLAN IS THE PROPERTY OF VISION CONSULTING AND ITS CLIENT. THIS SURVEY HAS BEEN REDUCED WITHOUT THE PERMISSION OF BOTH PARTIES. ALL DISCLAIMERS SHOWN ON THIS PLAN ARE TO BE READ IN CONJUNCTION WITH VISION SURVEYS CONSULTING CONDITIONS.



DEMOLITION PLAN

SCALE 1 : 100

DEMOLITION LEGEND

- - - - - REMOVED ELEMENTS
- ▨▨▨▨▨ DEMOLISHED WALLS/ELEMENTS

Project	
23 DANE STREET EAST VICTORIA PARK	
Drawing Title	
DEMOLITION PLAN	
Drawn: NJK	Scale: 1:100 @ A3
Date: 2024-10-16	Revision:
Drawing Number:	North:
AD02	
<small>KW Building Consultant ACN 663 661 609</small>	

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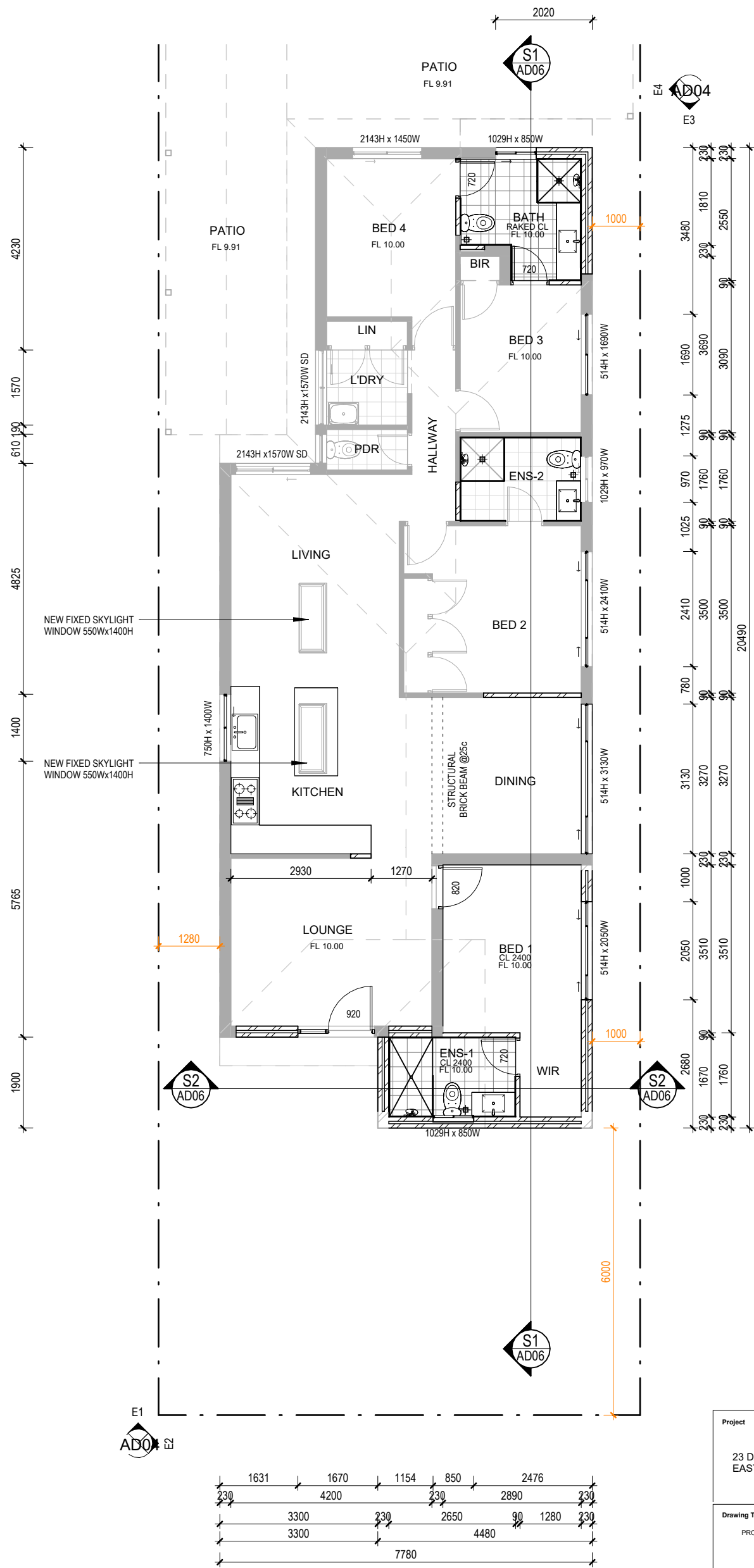
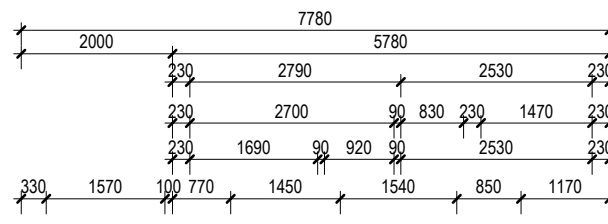
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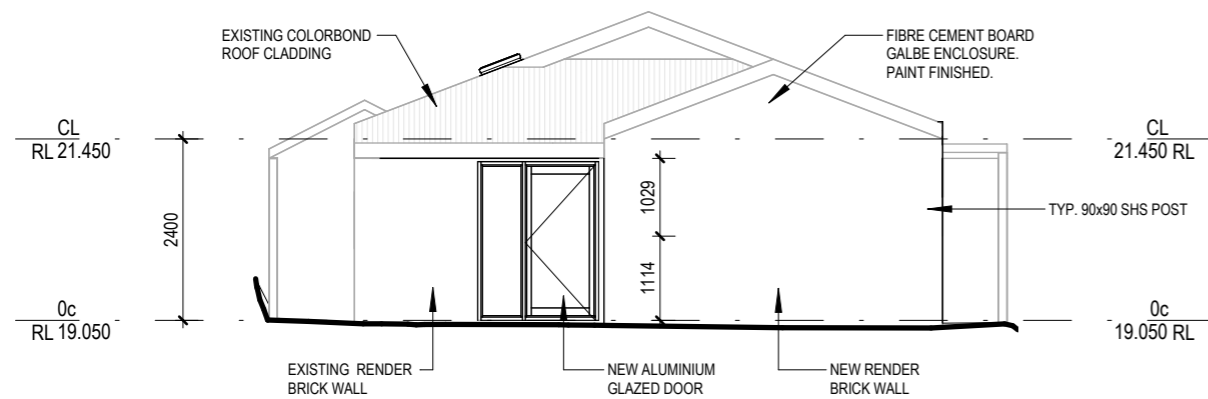
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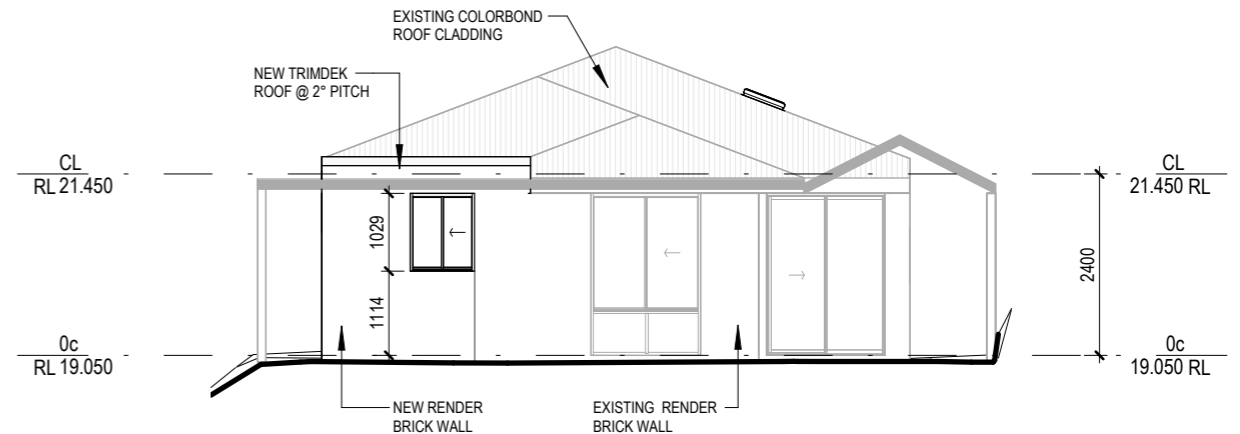


FLOOR PLAN
SCALE 1 : 100

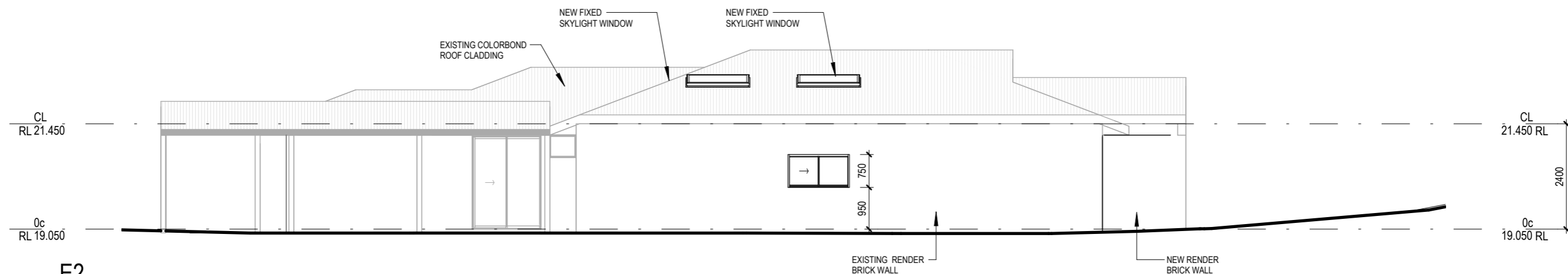
Project	
23 DANE STREET EAST VICTORIA PARK	
Drawing Title	
PROPOSED FLOOR PLAN	
Drawn: NIK	Scale: As indicated @ A3
Date: 2024-10-16	Revision:
Drawing Number:	North:
AD03	
KW Building Consultant ACN 663 661 809	



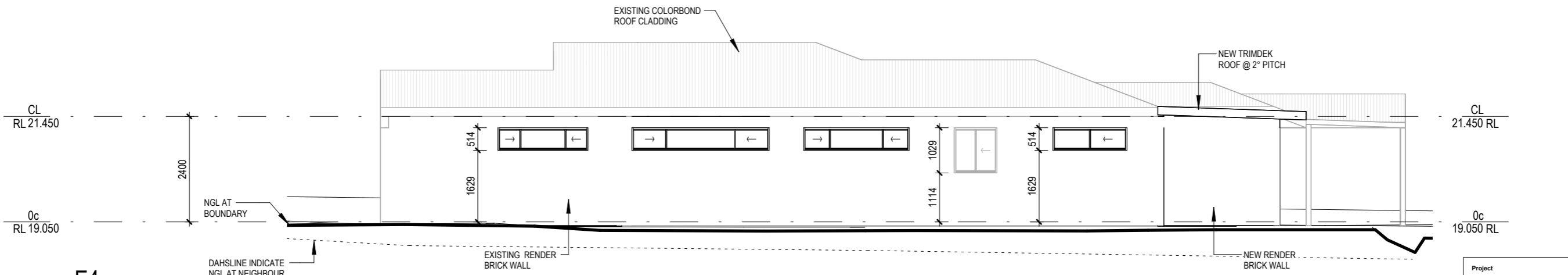
E1
SCALE 1 : 100



E3
SCALE 1 : 100

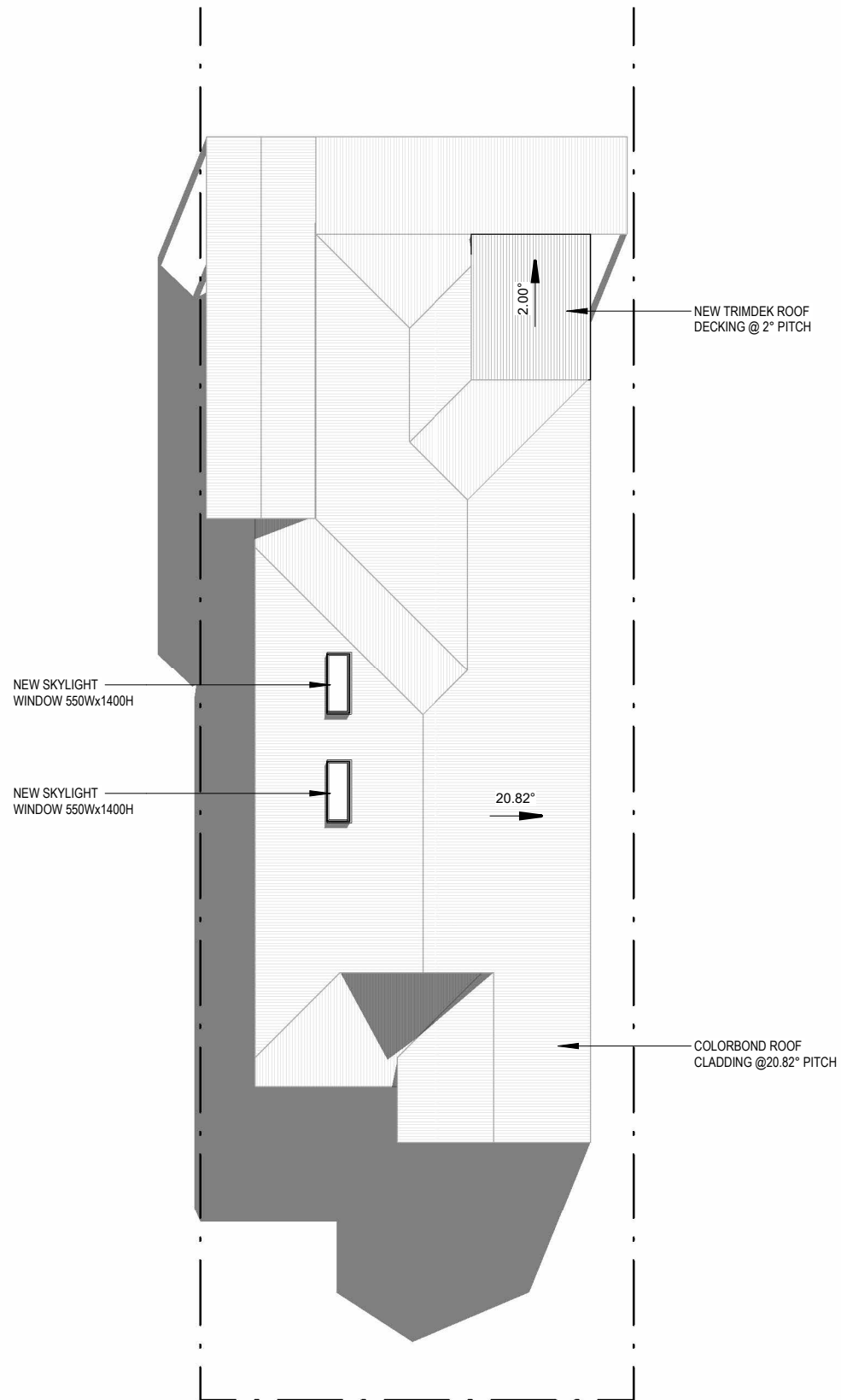


E2
SCALE 1 : 100



E4
SCALE 1 : 100

Project	
23 DANE STREET EAST VICTORIA PARK	
Drawing Title	
ELEVATIONS	
Drawn: NK	Scale: 1 : 100 @ A3
Date: 2024-10-16	Revision:
Drawing Number:	North:
AD04	



ROOF PLAN
SCALE 1 : 150

Project	
23 DANE STREET EAST VICTORIA PARK	
Drawing Title	
ROOF PLAN	
Drawn: NK	Scale: 1:150 @ A3
Date: 2024-10-16	Revision:
Drawing Number: AD05	North: 